

Sunrise Master Association
2013 Annual Meeting Minutes
Emerald Ridge High School Commons
Thursday - March 14, 2013

7:00-7:30 p.m. Registration, Information, Refreshments and Vendor Tables

Sunrise vendors in attendance:

John L. Scott Real Estate – Ron Miller:

Door prize \$50 Applebee’s Gift Card; won by Troy Dunlap

DoTerra Pure Therapeutic Oils - Sylvia Snow, Independent Consultant;

Door prize Gift Box; won by Robert Ghent

Kronlund Coast-to-Coast – Michelle Kronlund:

Door prize gift basket; won by Susanne Roach

ADT – Troy Dunlap:

Door prize \$100 gift certificate for new install; won by Rayna Green and Melinda Millett

Thun Field Advisory Board – Mike Carver, Rex Humphrey and Lissa Smith:

Door prize Pierce County book; won by Leroy Fish

Keller Williams Realty – Brad Givens:

Door prize 4 piece appetizer bowl set; won by Steve Johnson

Be Healthy Live Well – Angie Walker:

Door prize \$25 gift card towards purchase; won by Louis Marsh and Lorraine Leonard

Central Home Services – Margaret Bishop:

Door prize Target gift card; won by Al Hokenstad

Total Grounds Management – Kevan Crouse:

Door prize flower basket; won by Gary Bissonette and Rich Hecht

Volcano Coffee – Provided coffee refreshments for the evening

I. Call to Order – The meeting was called to order at 7:32 p.m. by moderator Kathy Berrens

II. Introductions – By Kathy Berrens

Board of Directors

Sloan Clack, President	Representing Sunrise Development Corporation
Eric Corliss, Vice President	Representing Sunrise Development Corporation
Monica Gildea, Secretary/Treasurer	Representing Sunrise Development Corporation
Tom Boyle, Elected Director at Large	Representing Class A Single Family membership
Tony Sims, Appointed Director at Large	Representing Class B Multi-family membership

CDC Management and Site

Angie Orr, Senior Manager of Large Scale Communities
Gina Buchanan, Sunrise Site Administrator
Lori Grader, Administrative Assistant

III. Parliamentary Authority – Kathy Berrens reviewed Robert’s Rules of Order on how the meeting will be conducted.

IV. **Proof of Notice of Meeting** - I note for the record that notice of this meeting was mailed to owners on **March 1, 2013**, and was emailed to owners with a signed consent form on file on **February 27, 2013**. An Affidavit of Mailing with all owners and their addresses is on file with the Association's meeting records.

(A Declaration of Mailing, which Gina has signed and had notarized, has been completed for the Association records.)

V. **Confirmation of Quorum** – Our governing documents specify that a quorum of 30% in person or by proxy is required to constitute a quorum at our Homeowners Association Meeting. We will have **3 votes** tonight that require 50% of the membership to be represented in person or by proxy.

We currently have 71.6% of quorum to conduct the meeting and 71.6% of quorum to vote on any Association matters.

VI. **Old Business**

Approval of 2012 Annual Meeting Minutes

Copies of the 2012 Annual Meeting Minutes were mailed or emailed to homeowners and distributed in the packet received at the annual meeting.

Paul Masson motioned to accept the minutes as written. Troy Dunlap seconded the motion. There was no discussion.

Kathy Berrens called for a vote by a show of hands. The motion was passed by majority vote.

VII. **New Business**

a) Class A Board Member Election

The Class A single family homeowners will be electing a board member this year.

This position is currently held by Tom Boyle who was elected in March of 2011. We'd like to thank Tom for his service to the Sunrise Master Association.

Tom Boyle has chosen to run again for the Class A Board Member Position.

We have received one additional application from Fred Goehler for the Class A Board Member position and will welcome other nominations from the floor.

A motion from the homeowner Dan Zukowski was made to open the nominations for the Class A Board member, Dona Johnson seconded.

There were no nominations for the Class A Board Member from the floor, nominations were closed.

Each Board Member candidate Tom Boyle and Fred Goehler came forward and introduced themselves and gave a brief idea of their interest on being on the Board.

b) Class B Board Member Election

The Class B Multi-Family homeowners will be electing a board member this year.

This position is currently being held by Tony Sims.

The class B members have not exercised their option to elect a representative member to the Board.

Per the CC&Rs, the Declarant (Class C member) will appoint a Class B Board Member position.

The Declarant has decided on the appointment of Tim Stephens to the position of the Class B Multi Family Homeowner Board representative for the 2013 year.

We would like to welcome Tim Stephens to the Board.

c) 2012 Audit Election

Washington State Statute requires associations with annual assessments in excess of \$50,000 to perform an annual audit by an independent certified public accountant unless 67% or more of the owners elect to waive the annual audit.

By law, the homeowners must decide to waive this audit requirement, or choose to do a full audit.

Gary Bissonette motioned to waive the audit for 2012 books. Ron Miller seconded.

Discussion:

Question: Prior to 2011 when was a full audit done?

Answer: In 2009 – a full audit was performed in accordance with HOA laws.

Question: Is the handout all we have regarding the audit?

Answer: There is a full report available at the office.

Kathy Berrens called for a vote on this motion through a show of hands.

The motion passed by majority vote (approx. 41 to 1)

d) Reports

- 1) 2012 Accomplishments – Kathy Berrens gave an overview of the accomplishments within the community in 2012:
 - Successfully appealed property tax valuations and assessments for the years 2010 and 2011.
 - Replaced broken merry-go-round with larger picnic table at Sunrise Office Park.
 - Installed two permanent metal garbage cans at Sunrise office park.
 - Replaced damaged trees in the Deer Ridge neighborhood.
 - New pet station at Silverwood park
 - 6th Annual National Night Out with an estimated 600 guests in attendance.
 - Update of the Reserve Study for common area replacements and repairs.
- 2) 2012 Financial Recap – At year end, the Association continued to be financially sound. Income was 17.9% over YTD budget at \$107,529 due to:
 - Assessment income increased due to addition of 197 new dues paying lots in 2012

- Late fees for Emerald Pointe Lots
- Expenses were 1.5% under the YTD budget at \$8,951 due to:
- Maintenance Expenses were under budget
 - Utilities and Other expenses were under budget

Assessments Receivable:

- There was \$200,236 in delinquent accounts on 12/31/2012, versus \$73,892 on 12/31/2011; they are up \$126,344 due to the delinquent accounts of Emerald Point.
- 328 homeowners were delinquent at the end of December 2012, versus 126 at the end of December 2011; an increase of 202.

Discussion:

Question: Do we know when Emerald Point will be paying?

Answer: No we do not.

Question: There is extra money, so why were our dues raised?

Answer: The 2013 budget is based on an estimate of expenses. Due to anticipated increases, dues were raised.

Question: How are dues handled on foreclosure of properties?

Answer: When the bank is the owner on title, they are responsible for the payment of assessments. Some of the banks pay and some do not. Liens are in place; however many of the homes in Sunrise that are vacant are not bank owned. The previous owners have abandoned them, but the bank has not taken legal ownership of the property.

- 3) 2013 Goals – The following goals were stated for 2013:
 - a) Keep the HOA on budget as approved by the Board of Directors
 - b) Actively and responsibly address increasing foreclosures, bankruptcies and delinquencies
 - c) Complete the final draft of the rewriting of the Governing Documents (CCR's).
 - d) Begin the perimeter common area fence enhancements:
 - i) Explained that the fence posts are the issue, the panels are still in good shape. We considered vinyl but it was cost prohibitive.
 - Create a separate Rules and Regulations document for the community
 - Establish and maintain Committee and Board member communications
 - Create New and Fill standing committees within the SMA
 - Collaborate with the Crime Task Force to improve community safety
- 4) Community Safety-Cyndie Fajardo of the Pierce County Sheriff Department presented a Crime Statistics Comparison Chart year-to-date. Many calls received were to report unknown trouble and suspicious vehicles. This shows community awareness. Robberies were less than 25% in the community.
- 5) Development Activity – Eric Corliss with Sunrise Development Corporation spoke and gave an update.
 - Southwood Estates should be finishing up this year.

- The Arbors will be starting up late spring, early summer. The lots are appx. 94,000 sf, price range from \$350,000-\$400,000
 - Traffic issues – no improvements yet, and there is no plan yet to open 180th
 - Destiny- has 87 lots plus the church
 - Regional Park – 20 acre park with a due date of June 2015 but we are in discussions with Pierce County
 - Community Center – We hope to bring a new community center closer to 122nd in the future, but there are no plans yet
- 6) Thun Field Advisory Commission – Rex Humphrey who is the Chairperson spoke about the Thun Field Master Plan 20 year commitment update that starts in 2014. Rex introduced Mike Carver who is a co-chairman and Lisa Smith who is chairman of the Thun Field Advisory. Rex explained that Thun field is the emergency base for search and rescue in the South Puget Sound; they have 3x the traffic than the Narrows Airport. They invited everyone to check out their new website which has lots of activities listed and the committee is meeting next Thursday March 21st @ 6:30 for anyone who would like to join them.
- 7) Landscaper Update – Kevan Crouse of Total Grounds Management was available to answer questions by the homeowners. He explained they are working on weed control and installing flowers by the monuments.

Discussion:

Question: Can you do Mole control?

Answer: You have to be a pest certifier. The SMA usually contracts out for that work.

Question: Concerns about the mud in front of the ponds?

Answer: They are looking into fixing the front grass by the ponds, which was damaged by a vehicle and also the community feeding the ducks is not helping.

- 8) Committees
- General Committee Information – Kathy Berrens invited all homeowners to learn about Sunrise committees. One of our on-going goals for 2013 is to work on getting more community participation in committees.
 - SMA Crime Task Force Report – John Mejia reported on SMA Crime Task force and explained they are out every Saturday in the early am hours. Invited anyone interested in volunteering to come to a meeting on April 3rd at 7 pm at the clubhouse.
 - Volunteer Recognition- Volunteers from all the active committees where listed by name. Certificates of recognition were distributed and/or mailed to all those named.

VIII. Voting and Election Results

- a. Class A Single Family – Fred Goehler was elected to the Class A Board member position at the 2013 Annual Meeting.
- b. Class B Multi Family – As previously stated, the Declarant has appointed Tim Stephens to the Class B Board Member position.
- c. Class C – appointments are Sloan Clack, Eric Corliss, and Monica Gildea

Kathy Berren's presented the Sunrise Board for 2013:
Class A – Fred Goehler
Class B – Tim Stephens
Class C – Sloan Clack, Eric Corliss and Monica Gildea

IX. Questions and Answer Session

1. **Q. What is the time limit that the Declarant can remain on the board?**
A. The Declarant will remain on the board until 95% of the homes are built or 2021.

2. **Q. Is there any plans on expanding the clubhouse, it's very small?**
A. The clubhouse was developed a long time ago. We haven't hit critical mass yet. We hope to someday be able to build a bigger one when there is more development and more centrally located.

3. **Q. Can they fill the spot by the water tower to prevent vehicles going back on property and dumping their garbage?**
A. We have put eco blocks and fill to prevent vehicles going on the private property; we will look into bringing more fill in. It is only a temporary solution. Trespassers eventually get through. The other problem is we do not own all of the area's so it is hard to block all accesses.
B. The County does not have the man power to patrol.

4. **Q. Are you doing everything you can to keep our community safe?**
A. The SMA is in cooperation with the Declarant and doing our best to keep everyone out of the property but they do find ways back there. The best number to call if you feel there is suspicious activity is "911".

X. Adjournment


In the absence of any further business and if there are no objections, I would like a motion to adjourn. Steve motioned to adjourn, seconded was made by Sloan Clack.

Meeting adjourned at 9:15 p.m.

Approved:



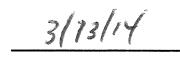
Monica Gildea, Secretary



Date



Sloan Clack, President



Date