

# ARCHITECTURAL GUIDELINES

## SUNRISE MASTER ASSOCIATION



PUYALLUP, WASHINGTON



# ARCHITECTURAL GUIDELINES

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# ARCHITECTURAL GUIDELINES

## INTRODUCTION

## PURPOSE & DEFINITIONS

## CHAP 1

***Welcome to Sunrise Master Community! The purpose of this manual is to help you better understand your role and responsibilities as a member of this growing and exciting Community.***

*The Sunrise community is unique to the Puyallup area offering a master planned community where people live, work and play. Sunrise provides a well balanced mix of residential, commercial and natural land use.*

*Consisting of 1,467 acres, Sunrise is oriented around acres of sensitive, existing wetlands and open space buffers. The remainder of the site will be a wide range of residential single family homes, apartments, condominiums, and townhouses, which will all be connected by greenbelts, open spaces and bicycle paths.*

*Nestled between the southern shores of Puget Sound and Mount Rainier, Sunrise is located in Pierce County. Pierce County's economic outlook is strong with business and residential growth expanding into the area. Sunrise residents work at employment centers in Pierce and nearby King County.*

*Sunrise enables residents to enjoy a high quality of life in one of the most beautiful areas in the region, with spectacular views of Mount Rainier. Sunrise is a community of neighborhoods each with its own flavor and identity, but all a cohesive part of the same master planned environment. At the heart of Sunrise, there will be a town center, which will act as a hub for community activity. Schools at Sunrise provide a healthy learning environment for the community's children. Open greenbelt space is provided to integrate the community with its parks, play fields, wetlands, trails, water features, sport courts and picnic areas, all commonly owned by the residents of Sunrise. Through the Sunrise Master Association, all residents have a voice concerning community operations. Sunrise provides a community with something for everyone in a unique environment where residents have a sense of pride and community.*

### 1a. Objectives and Purpose of Architectural Review.

The objective of the architectural review process is to maintain a high standard and consistent character within your Community, as established by the original Master Plan Community Developer. This standard includes:

- **Consistency** - To promote aesthetic harmony between your proposed improvements and the existing character and design of your Community.
- **Good Neighbors** - To strike a reasonable balance between your rights and expectations seeking approval and the expectations of your neighbors.
- **Vision** - To allow you to participate in the review process and implement your vision for the Community.

Architectural Guidelines are not a replacement for the Covenants Conditions & Restrictions ( CC&Rs ). The role of these guidelines is to implement the CC&Rs. Guidelines do not address every conceivable exterior architectural improvement. Just because a change to your property is not addressed here, does not exempt you or other Homeowners from seeking the Architectural Review Committee ' s approval.

These Guidelines were developed to help you and other Homeowners understand the requirements for exterior home and property improvements within your development.

# ARCHITECTURAL GUIDELINES

## INTRODUCTION

### PURPOSE & DEFINITIONS

## CHAP 1

### 1b. Definitions

- Applicant** ..... You, the Homeowner, applying for an architectural improvement.
- ARC**..... Also known as Architectural Review Committee, is appointed by the Board of Directors of the Sunrise Master Association to review and approve all exterior architectural improvements. The Committee may choose to seek services of a design professional to help with a prompt and impartial review.
- ARC Application** ..... A request by you, a Homeowner, to add an improvement on your property.
- Architectural Guidelines**..... This handbook or “ Guidelines ” .
- Back Yard**..... The portion of your property behind your home.
- Building Setback**..... Allowed distance of any permanent structure from your property lines.
- Community**..... Your development subdivision.
- Construction Recommendations**.. During the development phase, your builder may choose to impose Construction Recommendations in addition to Construction Requirements.
- Construction Requirements** ..... Rules guiding the construction of a particular property improvement.
- CC&Rs** ..... Sunrise Master Association Declaration of Covenants, Conditions, Restrictions and Easements.
- Development Period**..... The initial time during which the developer retains control over the Association.
- Decision Letter**..... The letter returned to you, after an Application is filed, indicating approval, approval with conditions or denial of the proposed architectural improvement by the Architectural Review Committee and the Sunrise Master Association.
- Easement**..... A section of a lot dedicated to a specific limited use, such as a utilities, fire department access, etc. that limits what can be installed/built in that area.
- Easement Obstruction**..... Any structural, planting or other material that damages or impairs ingress or egress and/or traffic site distance.
- Front Yard**..... The area forward of the front of the home and the fences that separate the front portion of your property from the rear portion of your property. If no fence is present, the front yard is defined as all visible property in the front of the home and back to 7 feet from the street face of your home.
- Impervious Surface** ..... The surface of a structure, hot tub, patio or walkway made of permanent materials which does not allow the storm water/rain to pass through to the ground below; such as solid asphalt, concrete and/or your home.
- Local Jurisdiction**..... Pierce County Building Department, Fire Department, Planning and Land Use Dept., etc., all of which may require permits, reviews and inspections for architectural improvements.
- Lot Coverage**..... The percentage of a building lot that can be covered with impervious surfaces.
- NGPA**..... Native Growth Protection Area.
- Permeable Surface**..... The surface of a structure, deck, patio or walkway made of permeable materials which allows storm water/rain to pass through to the ground below; such as grass, a wood deck, pavers, etc.

# ARCHITECTURAL GUIDELINES

## INTRODUCTION

### PURPOSE & DEFINITIONS

## CHAP 1

- Process Flowchart***.....The flowchart that details the Architectural Review Committee process, attached at the end of this introduction.
- Property***.....Your home, your lot, and all structures.
- Property Improvement***.....Any exterior modification and/or addition to your property, which changes the appearance of the home or the lot within the community.
- SMA*** .....Sunrise Master Association, also known as the “Association”.
- Side Yard*** .....The area on the sides of your home that are not identified otherwise defined as the back yard or the front yard or 7 feet from the front to the rear of the house.
- Site Plan***.....A site plan is an accurate drawing of your property showing its size, shape and precise location of man-made and natural features (your home, garage, driveway, setbacks, easements, etc ). Submitted site plans must show what currently exists on your property and what improvements you wish to make.
- Steep Slope Area*** .....Designated area in which clearing, grading, construction and vegetation removal is restricted.
- Submittal*** .....A set of documents submitted by you, a Homeowner to the ARC.
- Screened from Public View*** .....Using shrubs, trees or an approved fence to prevent an object from being seen by your neighbors and the public.

# ARCHITECTURAL GUIDELINES

## ADMINISTRATION

### CRITERIA, ROLES & RESPONSIBILITIES, SCOPE OF WORK, ETC.

## CHAP 2

### 2a. Criteria, Roles & Responsibilities of the ARC

The Architectural Review Committee is appointed by the Board of Directors of Sunrise Master Association to assist in maintaining a uniform, high aesthetic design standard for your Community. ARC further develops and enforces rules, regulations and guidelines to control architectural continuity, landscaping, oversight of steep slopes, NGPA areas, common areas and the aesthetic features of the Sunrise Master Association. It is the ARC's responsibility to review all Applications for changes, additions or modifications to the exterior of any home. The Board retains certain rights and discretions granted to it by the CC&Rs, which it may delegate to the ARC:

- The authority and obligation to manage and administer the review of plans, specifications, construction drawings and such other submissions.
- The right to deny an Application for any reason, aesthetic or otherwise, which the Board or the ARC in its sole discretion deems sufficient.
- The right to deny an Application based on:
  - ◊ The suitability of the proposed architectural improvement, materials, size and color scheme.
  - ◊ The harmony of the proposed architectural improvement with surrounding properties and your property.
  - ◊ The durability and permanence of the proposed architectural improvement.
  - ◊ All other facts that the ARC considers not desirable for the consistent look of the Community.
  - ◊ Non-conformance with the Community Governing Documents.
- The right to grant a variance based on a factual showing that a strict application would impose a severe hardship upon the Applicant.

The ARC shall consider the following criteria in reviewing an Application for any exterior improvement:

- ◊ The exterior design, scale and color of the proposed improvement in relation to surrounding structures, vegetation, topography, community design character and line-of-sight of neighboring properties.
- ◊ The surrounding site characteristics, including slopes, existing vegetation, roads, services and easements, neighbors and existing buildings.
- ◊ The quality and character of the exterior materials.
- ◊ The quality of workmanship or performance warranties for proposed improvement elements.
- ◊ The scale and location of proposed landscape improvements.
- ◊ The compliance of proposed improvement with general and community-specific architectural guidelines, easements, building setbacks, plat limitations and impervious surface restrictions that affect the property.
- ◊ The provisions for surface water drainage, light and sight buffers and the consideration of other aspects of design, which may have substantial negative effects on neighboring properties.

The ARC will not review municipal, local and county codes, nor building permit submittal requirements of the local jurisdiction. Compliance with local laws and codes is the sole responsibility of the Homeowner.

### 2b. Scope of the ARC Review

**All exterior architectural improvement projects require ARC approval before work begins.**

Exterior architectural improvements consist of any alterations of the exterior appearance of a property. They include, but are not limited to: construction or alteration of dwellings, accessory buildings, garages, fences, walls, your home, hot tubs, sheds, landscaping, hedges, shrubs, signage, grading, storm drainage, patios, decks, retaining walls, play sets, walkways, sport courts, recreational apparatus, gazebos, awnings, satellite dishes, lighting, spas, air conditioners, generators, ramps, water features, trees, storm doors, painting, staining, change of siding or trim, installation of shutters, dormers, driveway modifications, sound and solar systems, irrigation, etc.

# ARCHITECTURAL GUIDELINES

## ADMINISTRATION

### CRITERIA, ROLES & RESPONSIBILITIES, SCOPE OF WORK, ETC.

## CHAP 2

### 2c. Review Process

- ARC has thirty (30) calendar days to review and make a determination on any complete ARC application. A complete Application for approval of an exterior improvement must be submitted to the ARC at least thirty (30) calendar days before the scheduled start of work.
- In the event no decision is provided to the Applicant after thirty (30) calendar days have passed, then the obligation to obtain ARC approval is deemed satisfied. The Applicant remains obligated to comply with all other governing rules and regulations including but not limited to the CCRs, State and Federal laws.
- ARC 's approval cannot be used in lieu of a required building permit or other approval from the local jurisdiction.
- You, the Applicant, have the sole responsibility for ensuring full compliance with setbacks, easements, permits, fees, ordinances and restrictions associated with the modification of your property. Your purchase and sale agreement and associated documents, the Pierce County Building Department and a design professional are additional resources for obtaining information to meet this responsibility.
- A complete set of documents required for an Architectural Improvement Application Submittal shall include the following:
  - ◇ A complete ARC Application form. A blank ARC Application form is included with these guidelines or you may contact your Community Association Office.
  - ◇ A detailed written explanation of the proposed improvement.
  - ◇ A site plan showing existing structures as well as the location and size of proposed improvement.
  - ◇ A description of proposed materials and colors.
  - ◇ Contractor licensing and proof of insurance.
  - ◇ Catalog photos, photos or illustration of proposed improvement.
  - ◇ And other items as designated in these guidelines.
- Upon receiving a complete Application, the ARC will review the request and apply the Covenants and these architectural guidelines to arrive at its decision to “**Approve**,” “**Partially Approve**,” “**Approve with Conditions**” or “**Deny**” your Application.
  - ◇ The ARC or its agent may visit the site of the proposed property improvement and any surrounding property to better understand how the proposal affects its surroundings.
  - ◇ The ARC may request the attendance of the Applicant and neighbors at a meeting wherein the ARC considers the Application.
  - ◇ The ARC or its agent may contact the local jurisdiction to inquire about specific restrictions regarding the community, city or county.
- Applications shall be submitted to your Community Association Office.
- Incomplete Applications may be returned “**Denied**” or “**Not Reviewed**”.
- The ARC will review your Application and make a written recommendation to the Sunrise Master Association. You will be advised of that recommendation in a final Decision Letter issued within thirty (30) calendar days of receiving your Application. If an Application is incomplete, it will be returned to you, the Applicant, to supply the missing items. The thirty (30) calendar day response period will not begin until the Application is complete. Please, keep your Decision Letter as proof of the Association 's decision. A copy of the letter also goes in your permanent file at the Community Association Office.

# ARCHITECTURAL GUIDELINES

## ADMINISTRATION

### CRITERIA, ROLES & RESPONSIBILITIES, SCOPE OF WORK, ETC.

## CHAP 2

- An Applicant may appeal the ARC decision by submitting a written request to the Sunrise Master Association Board within fourteen (14) calendar days from the postmark date of the ARC Decision Letter. No work should be done until the appeal process is complete.
- The Association will respond to the Applicant within thirty (30) calendar days from the Association's receipt of the written request.
- Ultimate responsibility for complying with the Governing Documents, Architectural Guidelines and government regulations rests with you, the Homeowner and Applicant.
- The ARC, Community Association Staff or the Association may inspect the completed exterior improvement to determine whether it conforms to the terms and conditions of the ARC's written decision. *The Association maintains the right to impose fines or remove the structure if construction does not meet the requirements of the Covenants or the ARC's decision.*
- The Association shall maintain copies and keep track of all Applications, all written decisions of the ARC and all written decisions of the Association in response to the appeals.
- The process for the architectural review is illustrated in the Process Flowchart, following this section.

Sunrise Master Association Governing Documents state that persons exercising authority of the ARC are not liable for any action or inaction done in good faith.

#### 2d. Guidelines for the Completion of Work

- Refer to the section in your Governing Documents regarding the completion of work.
- All temporary piles of dirt, rocks or other construction material must be covered with tarps within one (1) calendar day of delivery.
- All temporary piles of dirt, rocks or other construction material must be removed within fourteen (14) calendar days of delivery or with ARC approval, within fourteen (14) calendar days of completion of construction.
- All construction requiring a building permit must be completed in the time frame required by the local jurisdiction.
- All work in process must appear orderly. No construction debris shall be visible from the public areas.
- All construction areas must be secured and marked to prevent any potential hazardous conditions.

#### 2e. Non-Compliance Notification Process

- The Association retains the right to inspect the completed improvement to ascertain that it was built according to the requirements of the Decision Letter. The Association has the right to require a Homeowner to remove or make changes at the Homeowner's expense to the improvement if it is not in conformance with the ARC decision. See the Community Rules, Covenant Enforcement Policy and the CC&Rs.



# ARCHITECTURAL GUIDELINES

## REVIEW PROCESS FLOW CHART

### HOMEOWNER - *START*

#### What to Do?

- Fill out an Application
- Indicate proposed modifications on a site plan
- Describe proposed materials
- Include details, photographs or drawings
- **Send submittal to Sunrise Master Association Staff**

#### Reference Materials to Use

- CC&Rs
- Site plan
- Blank ARC Application
- Architectural Guidelines

### HOMEOWNER - *END*

- **Receive Decision Letter**
- **Proceed with Improvement as approved by ARC in the Letter.**

### Community Association Staff

#### What to Do?

- Date stamp receipt
- Log reviewed Application
- **Send a Decision Letter to Homeowner**

### Community Association Staff

#### What to Do?

- Date stamp receipt
- Log incoming Application
- Incomplete submittals are returned to Homeowner
- **Send Application to ARC**

### ARC

#### What to Do?

- Log incoming Application, distribute the Application to all ARC members
- Review the Submittal based on Architectural Guidelines, CC&Rs and Local Regulations
- Review the Application based on aesthetic consistency in Community
- Speak to local officials and Homeowner as needed
- Date stamp and write comments on Submittal
- **Send a review form to ARC for comment and obtain the Committee's sign-off.**
- **Send a draft of Decision Letter and reviewed Application**

#### What to Use?

- CC&Rs
- Aesthetic consistency considerations
- Local regulations
- Architectural Guidelines

### ARC

#### What to Do?

- Comment
- Sign and send back the review form

# ARCHITECTURAL GUIDELINES

## LANDSCAPING FENCES, GATES & KENNELS

### CHAP 3 A

#### Application and Construction Requirements

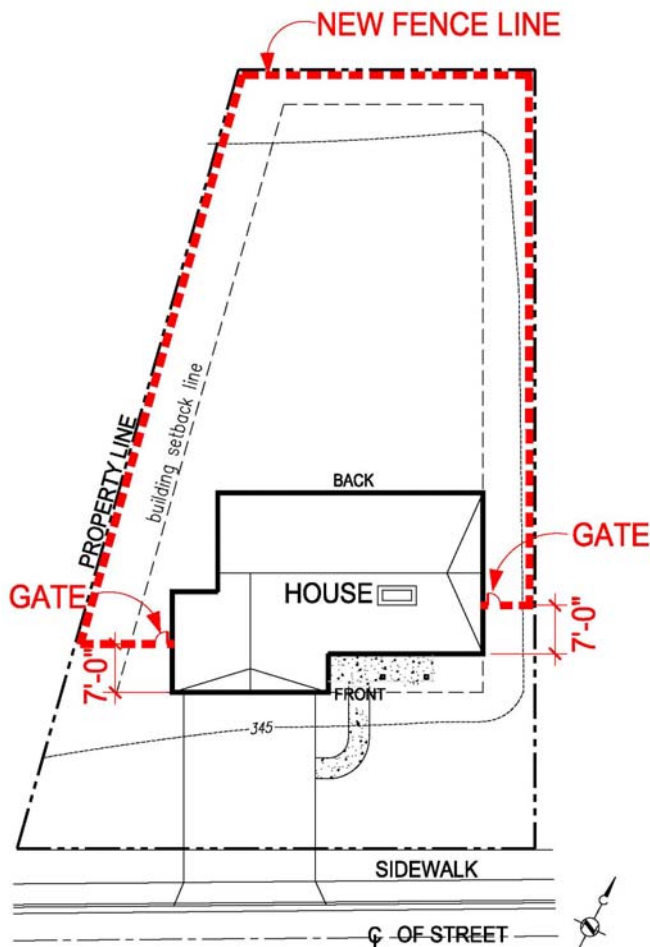
The following Architectural Guideline chapter has been provided to assist you, the Homeowner, in preparing an ARC Application to the Association.

Our goal is to describe the Application requirements as well as to explain construction requirements and recommendations in your Community.

#### Sample Site Plan

The sample Site Plan below shows information that needs to be provided in an Application.

An actual Site Plan of your property must be used, with the fence drawn and described. See red portions of the sample Site Plan below.



#### Application Requirements

- Completed Application Form.
- Site Plan - Please use the Site Plan of your actual property provided by your builder as the basis for your Application.

#### Please add to the Site Plan:

- Drawing of proposed location of new fence and gates.
- Dimensions from front corners of your house to gate/fence.
- Identify areas that are steep slope areas

You may be required to provide additional information, including a professional survey, to meet specific requirements of the Architectural Review Committee.

**We urge you to obtain all appropriate approvals prior to the start of construction.**

#### Construction Requirements:

- Fences must comply with standard fence details, see Standard Fence Detail ( page 3 of this Guideline ).
- Fences must be set back from the front corner of the house by no less than seven feet on both sides.
- Corner lot properties shall follow restrictions for corner fences set by your local jurisdiction. Traffic and pedestrian sight lines must be maintained.
- Fences must be made of wood. No galvanized, vinyl, or chain link fences are allowed.
- All wrought iron fences must be approved by ARC.
- Fences may not extend beyond property lines.
- Fences built on top of retaining walls must be built inside the property lines.
- Pet houses must be compatible with the Homeowner's home in color and material and must be visually unobtrusive and have the least impact on the neighboring lots for visibility, noise and smell.
- If your lot borders a main street, the fence on the street side must match existing fence built by Sunrise Master Plan Community Developer.
- Fences shall not exceed 6' 0 " in height.
- Fence extensions, lattices, etc., are not allowed.
- Fences in steep slope areas must be approved by ARC.

# ARCHITECTURAL GUIDELINES

## LANDSCAPING FENCES, GATES & KENNELS

### CHAP 3 A

#### Examples

**Figure A**  
**Configuration RECOMMENDED**



**Figure B**  
**Configuration NOT ALLOWED**



- All dirt and landscaping materials must be kept away from any and all common area fencing, providing for a 4-6 inch clearing between the bottom rail of the fence and the ground material.
- It is suggested that dirt and landscaping materials be kept away from all fencing, private and common.
- If you plan on using a trimmed hedge in lieu of a wood fence, you must submit an Application showing the extent and describing the planting used.

#### **Construction Recommendations:**

- If you plan to stain your fence, please use a clear semi-transparent stain as described in the Standard Fence Detail.
- Fences on private lots shall be maintained in good order and repair.
- Chain link fence dog runs are acceptable only within a back yard that is already fenced with standard wooden fence. A standard Application is still required.
- Following the Standard Fence Detail closely helps maintain a high level of construction and improves the durability and longevity of your fence.

*Please note that you should submit a complete ARC Application even if you plan to follow these Architectural Guidelines.*

Approval by Architectural Review Committee does not constitute approval by any other jurisdiction, regulation or restriction.

You, the Applicant, have the sole responsibility for ensuring full compliance with existing setbacks, easements, permits, and other local restrictions associated with the modification of your property.

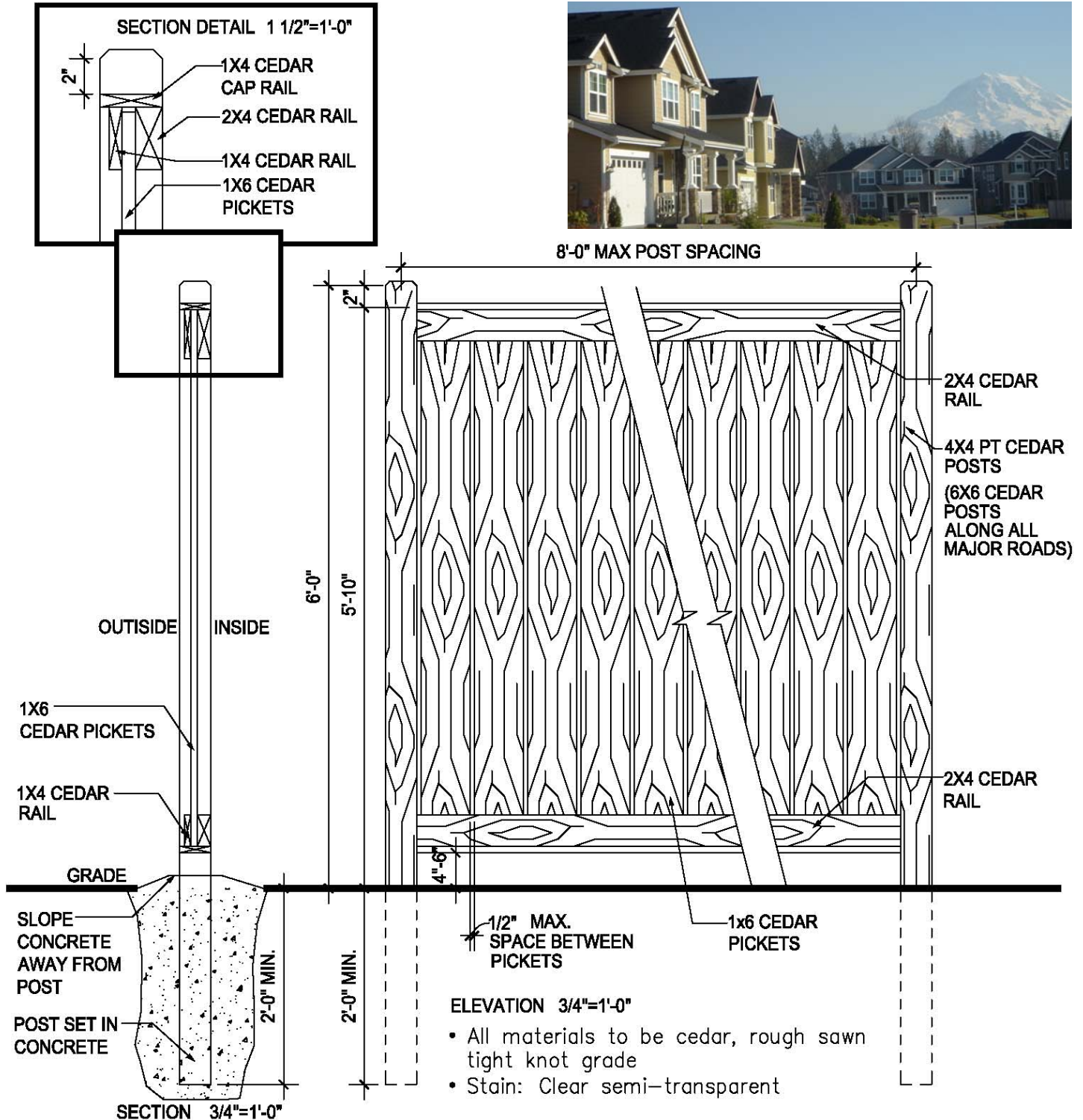
Washington law requires you to "Call Before You Dig", prior to any digging or excavation to protect you and underground utilities ([www.callbeforeyoudig.com](http://www.callbeforeyoudig.com), 1-800-424-5555)

# ARCHITECTURAL GUIDELINES

## LANDSCAPING FENCES, GATES & KENNELS

### CHAP 3 A

#### Standard Fence Detail



# ARCHITECTURAL GUIDELINES

## LANDSCAPING GROUNDS & YARD ART

## CHAP 3 B

### Application and Construction Requirements

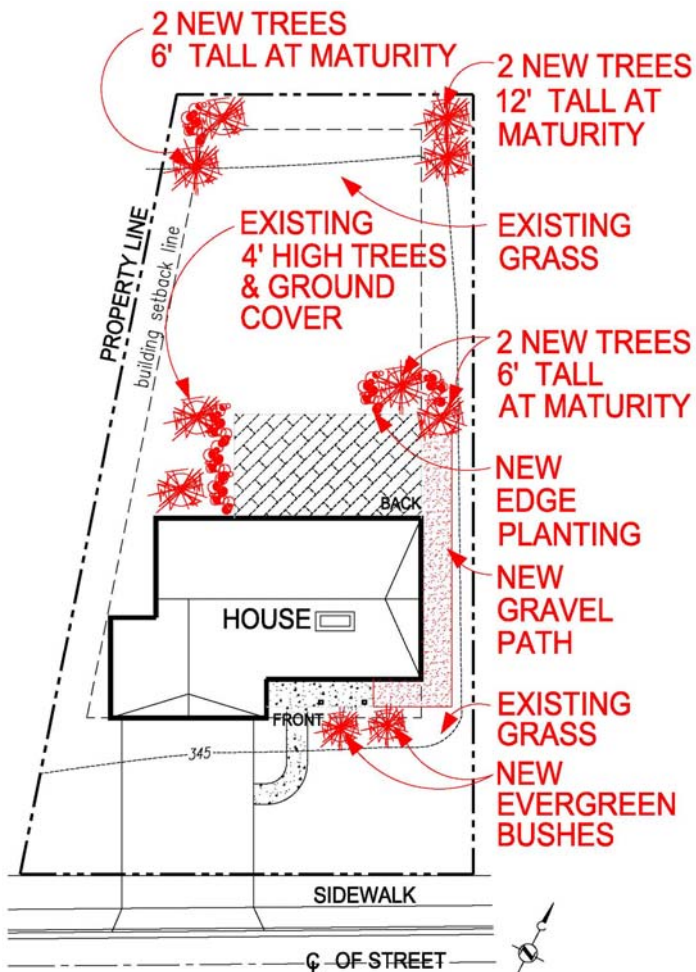
The following Architectural Guideline chapter has been provided to assist you, the Homeowner, in preparing an ARC Application to the Association.

Our goal is to describe the application requirements as well as to explain construction requirements and recommendations in your Community.

#### Sample Site Plan

The sample Site Plan below shows information that needs to be provided in an Application.

An actual Site Plan of your property must be used, with the landscaping and yard art drawn and described. See red portions of the sample Site Plan below.



#### Application Requirements:

- Completed Application Form.
- Site Plan - Please use the Site Plan of your actual property provided by your builder as the basis for your Application.

#### Please add to the Site Plan:

- Indicate height of proposed trees at maturity.
- Pictures and description of proposed free standing yard elements and yard art, including materials and colors.
- Indicate all existing and proposed landscaping and landscaping elements (decks, fences, walkways, terracing, etc.)

You may be required to provide additional information, including a manufacturer's data sheet to meet specific requirements of the Architectural Review Committee.

**We urge you to obtain all appropriate approvals prior to the start of construction.**

#### Construction Requirements:

- Planting material shall not encroach into the neighboring properties.
- All trees and shrubs shall be trimmed to prevent overgrowth and obstruction.
- Planting of any tree, shrub, hedge or plant which may exceed a height of 10' 0" at maturity must go through the ARC approval process.
- Bio-swales and infiltration trenches cannot have private Homeowner plantings.
- Landscaping at street intersections and driveways shall permit safe lines of sight. Verify with the local jurisdiction about sight distance requirements. No fence, shrub or hedge may be placed or permitted to remain where it would compromise traffic visibility and pedestrian safety.
- Widening the driveway for maneuvering purposes may be approved as long as it does not exceed a significant portion of the front yard area and may not exceed the allowable lot coverage of impervious surfaces.

# ARCHITECTURAL GUIDELINES

## LANDSCAPING GROUNDS & YARD ART

### CHAP 3 B

#### Examples

**Figure A**  
**Configurations RECOMMENDED**



**Figure B**  
**Configurations NOT ALLOWED**



- Trees proposed to be planted within 10' from any property line must not exceed the height of 20' at maturity depending on the lot size and proximity of adjacent homes.
- Outdoor wood, metal, or plastic furniture is recommended to be displayed only in back yards. Indoor furnishings shall not be displayed outside of your home.
- Landscaping designs that use invasive plants are not allowed.
- Large trees and bushes obscuring the front façade of your home are not allowed.
- Kennels, pools, hot tub equipment and A/C units shall be screened with plant materials or fenced to minimize visibility from adjacent lots and streetscapes.

#### **Construction Recommendations:**

- Landscaping designs that use native and drought tolerant plants are strongly encouraged.
- A few large planter or ornamental pots in front of your home is recommended in lieu of a disharmonious variety of small pots and containers.
- Garden statues and/or yard art should be in good taste in regard to style, size and number and must be approved by the ARC. All statues and yard art shall be limited to fenced side and rear yards.
- Be sensitive to your neighbor's views and privacy in placement and appearance of your landscaping, lighting, decorative elements, etc.

*Please note that you should submit a complete ARC Application even if you plan to follow these Architectural Guidelines.*

Approval by Architectural Review Committee does not constitute approval by any other jurisdiction, regulation or restriction.

You, the Applicant, have the sole responsibility for ensuring full compliance with existing setbacks, easements, permits, and other local restrictions associated with the modification of your property.

*Please note that vegetation in wetland buffers, NGPA areas or steep slope areas shall not be pruned or removed without prior ARC approval.*

Washington law requires you to "Call Before You Dig", prior to any digging or excavation to protect you and underground utilities ([www.callbeforeyoudig.com](http://www.callbeforeyoudig.com), 1-800-424-5555)

# ARCHITECTURAL GUIDELINES

## LANDSCAPING PATIOS & WALKWAYS

### CHAP 3 C

#### Application and Construction Requirements

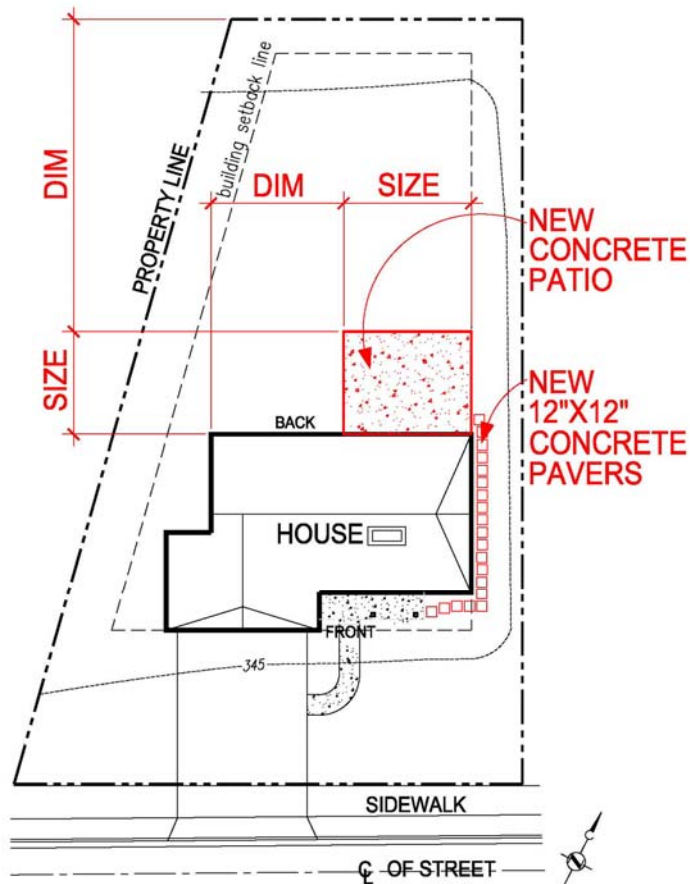
The following Architectural Guideline chapter has been provided to assist you, the Homeowner, in preparing an ARC Application to the Association.

Our goal is to describe the Application requirements as well as to explain construction requirements and recommendations in your Community.

#### Sample Site Plan

The sample Site Plan below shows information that needs to be provided in an Application.

An actual Site Plan of your property must be used, with the patio or walkway drawn and described. See red portions of the sample Site Plan below.



**DIM** = Dimension/ Distance/ Measurement

#### Application Requirements:

- Completed Application Form.
- Site Plan - Please use the Site Plan of your actual property provided by your builder as the basis for your Application.

#### Please add to the Site Plan:

- Proposed location of new patio and/or walkway.
- Dimensions of the new patio and/or walkway.
- Height of patio above finish grade.
- Material and color used to build the patio and/or walkway.
- Calculations of impervious surface.
- Drawings of any built-in benches, steps, railing and/or other permanent features.

You may be required to provide additional information, including a professional survey, to meet specific requirements of the Architectural Review Committee.

**We urge you to obtain all appropriate approvals prior to the start of construction.**

#### Construction Requirements:

- The work, either in progress or completed, shall not divert water from your lot onto adjacent properties.
- Patios shall not violate any building setbacks, impervious surface rules or other requirements of the local jurisdiction.
- Concrete patios and walkways (Fig. D & E) are considered impervious surfaces (see Figure F for lot coverage calculations) and will be included in the lot coverage calculations.
- Flagstone or pavers used for patio or walkway surfaces are considered permeable surfaces (see definitions) and should not be included in the lot coverage calculations. See Figures A, B, & C.
- Drainage: If changes in grade are anticipated, they must be indicated on the application. Generally, approval will be denied if adjoining properties are affected by changes in drainage. Site inspections may be required.
- Patios shall be placed in a rear or side yard, with regard to privacy of neighboring homes.
- Patios shall always slope away from the home for drainage purposes.

# ARCHITECTURAL GUIDELINES

## LANDSCAPING PATIOS & WALKWAYS

### CHAP 3 C

#### Examples

**Figure A, B and C  
Permeable Surfaces**



**Figures D and E  
Impervious Surfaces**



- Patios built 30" and higher (above finish grade) require railings built according to local codes.

*Please note that you should submit a complete ARC Application even if you plan to follow these Architectural Guidelines.*

Approval by Architectural Review Committee does not constitute approval by any other jurisdiction, regulation or restriction.

You, the Applicant, have the sole responsibility for ensuring full compliance with existing setbacks, easements, permits, and other local restrictions associated with the modification of your property.

Washington law requires you to "Call Before You Dig", prior to any digging or excavation to protect you and underground utilities ([www.callbeforeyoudig.com](http://www.callbeforeyoudig.com), 1-800-424-5555)

#### Definitions

**PERMEABLE SURFACE** - A construction that allows surface water to run through to the ground below. Example: pavers or stones on sand bed.

**IMPERVIOUS SURFACES** - A construction that does not allow the surface water to run through to the ground below. Example: concrete or asphalt surface.

If you propose to add impervious surface to your property, add the total area of proposed patio and walkways to the sum of existing impervious surfaces. The total new impervious surface must not exceed the allowable lot coverage. See Figure F for example of existing lot coverage calculations.

*Figure F*

#### Existing Lot Coverage Calculations/ Impervious Area Calculations

Lot size	6363 SF
Footprint	1809 SF
Porch	131 SF
Paved areas	705 SF
Impervious SF	2645 SF
Lot coverage	42%

ITEMIZED EXISTING IMPERVIOUS SURFACES

SUM OF EXISTING IMPERVIOUS SURFACES

SHOWS PERCENTAGE OF EXISTING IMPERVIOUS SURFACE



# ARCHITECTURAL GUIDELINES

## LANDSCAPING

## RETAINING WALLS & PRIVACY WALLS

## CHAP 3 D

### Application and Construction Requirements

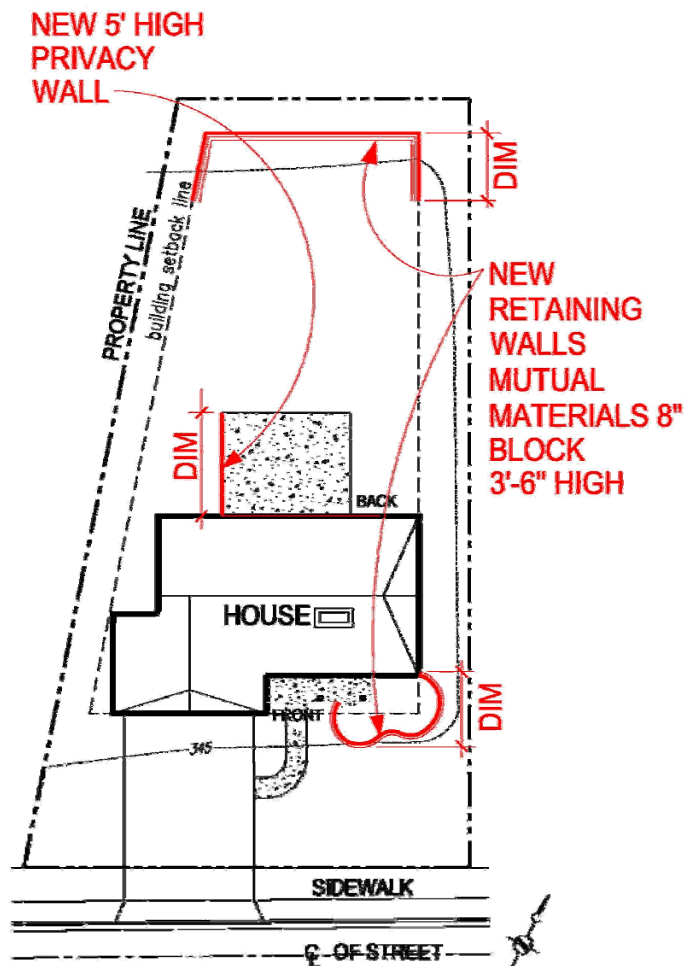
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Our goal is to describe the Application requirements as well as to explain construction requirements and recommendations in your Community.

#### Sample Site Plan

The sample Site Plan below shows information that needs to be provided in an Application.

An actual Site Plan of your property must be used, with the retaining wall drawn and described. See red portions of the sample Site Plan below.



**DIM** = Dimension/ Distance/ Measurement

#### Application Requirements:

- Completed Application Form.
- Site Plan - Please use the Site Plan of your actual property provided by your builder as the basis for your Application.

#### Please add to the Site Plan:

- Drawing of proposed location of wall.
- Wall dimensions indicated.
- Material and height of wall.
- Elevation drawing of privacy wall.

You may be required to provide additional information, including a manufacturer's data sheet to meet specific requirements of the Architectural Review Committee.

*We urge you to obtain all appropriate approvals prior to the start of construction.*

#### Construction Requirements:

- Retaining walls 4'0" in height and taller require an engineering design and a building permit.
- It is the Homeowner's responsibility to check if the local jurisdiction requires a building permit for the wall.
- If you purchased your property with block retaining walls in place, you may not remove or alter them without prior approval from the Architectural Review Committee. The block walls are designed to retain soil and prevent erosion while providing means for storm water to drain through the blocks. Retaining walls are an integral part of the entire community grading and drainage system and should not be disturbed.
- Walls must not violate building setbacks or other requirements by the local jurisdiction.
- Railroad ties are not allowed. See Figure B.
- Retaining and garden walls must be constructed so as not to cause run-off and rain to drain onto another Homeowners' property.
- Privacy walls or fences shall not be portable or temporary or exceed 6' in height.
- Privacy walls or fences must match the character and color of the house or perimeter fencing.
- Multiple levels of retaining walls constructed from different materials are not allowed. See Figure B.

# ARCHITECTURAL GUIDELINES

## LANDSCAPING

### RETAINING WALLS & PRIVACY WALLS

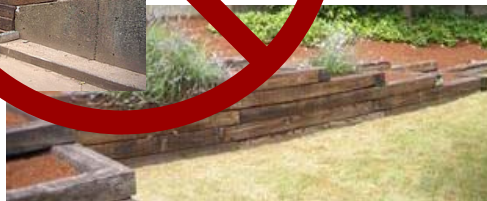
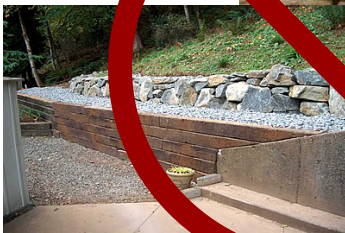
## CHAP 3 D

### Examples

**Figure A**  
**Configurations RECOMMENDED**



**Figure B**  
**Retaining Walls NOT ALLOWED**



- Privacy walls (See Figure A) shall generally be constructed of the same material as your house and shall blend in with the character of your house.
- Materials for retaining walls shall be of unpainted concrete blocks with a “natural” or chiseled surface, which are specifically designed for retaining walls.

#### **Construction Recommendations:**

- Within the property lines, privacy walls or fences can be used for privacy and screening.
- Dry stacking is preferable, to allow water to pass through. Solid walls require adequate drainage.
- Integrate vegetation and landscaping with garden wall design.

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# ARCHITECTURAL GUIDELINES

## BUILDING ACCESSORIES DECKS

### CHAP 4 A

#### *Application and Construction Requirements*

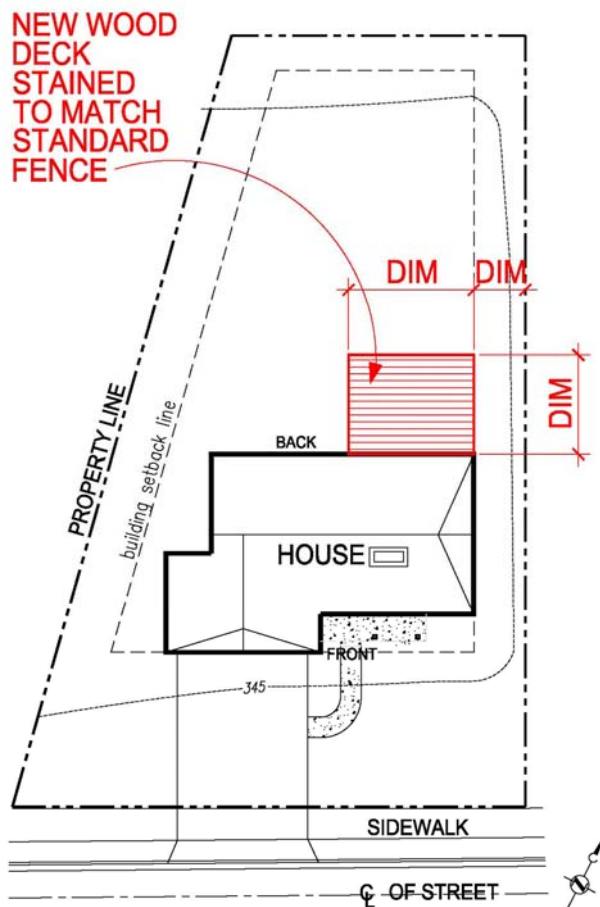
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#### **Sample Site Plan**

The sample Site Plan below shows information that needs to be provided in an Application.

An actual Site Plan of your property must be used, with the deck drawn and described. See red portions of the sample Site Plan below.



**DIM** = Dimension/ Distance/ Measurement

#### **Application Requirements:**

- Completed Application Form.
- Site Plan - Please use the Site Plan of your actual property provided by your builder as the basis for your Application.
- Verify dimensions and setbacks.

#### **Please add to the Site Plan:**

- Proposed location of new deck.
- Dimensions of proposed deck and distances.
- Material used to build the deck.
- Description of the treatment to be applied to the deck and railing.
- Drawings of any built-in benches, steps, railing and/or other permanent features.

You may be required to provide additional information, including a professional survey, to meet specific requirements of the Architectural Review Committee.

**We urge you to obtain all appropriate approvals prior to the start of construction.**

#### **Construction Requirements:**

- The work, either in progress or completed, shall not divert water from your lot onto adjacent properties.
- Decks shall not violate any building setbacks, impervious surface rules or other requirements of the local jurisdiction.
- Decks shall be placed in the rear or side yard with regard to privacy of neighboring homes.
- Drainage: If changes in grade are anticipated, they must be indicated on the application. Generally, approval will be denied if adjoining properties are affected by changes in drainage. Site inspections may be required.
- Decks shall be maintained free of moss and in good repair.
- Decks 30" or higher above grade, are required to have safety railings built according to local codes. See Figure A.
- Decks shall be compatible in materials and color with the Applicant's home or fence.

# ARCHITECTURAL GUIDELINES

## BUILDING ACCESSORIES DECKS

### CHAP 4 A

#### Examples

**Figure A**  
**Decks with railing**



**Figure B**  
**Decks without railing**



**Figure C**  
**Deck "Trellis"**



- If a deck "trellis" is proposed, it shall consist of horizontal slats, latticework, or other suitable pattern of wood framework to provide shading without providing a solid visual barrier above the deck. See Figure C.

#### **Construction Recommendations:**

- Decks built out of wood are encouraged. Composite material may be allowed after review by the ARC.
- Decks under 30" high without rails are encouraged. See Figure B.
- Decks are considered a permeable surface. (The boards should be placed to allow water to permeate.)
- Modifications to existing decks should provide continuity in detailing such as material, color and design of railings and trim.
- The design of deck "trellis" must be harmonious with the home and constitute an improvement to the massing and elevation of your home.

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# ARCHITECTURAL GUIDELINES

## BUILDING ACCESSORIES

### GAZEBOS, CABANAS, TRELISES & OTHER FREE STANDING STRUCTURES

## CHAP 4 B

### Application and Construction Requirements

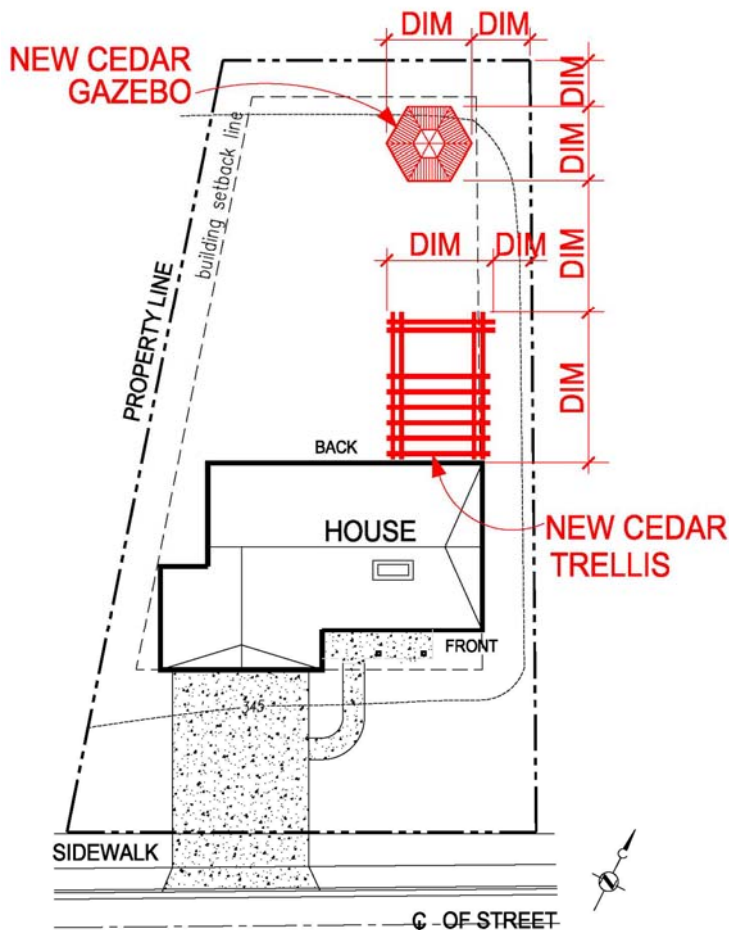
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#### Sample Site Plan

The sample Site Plan below shows information that needs to be provided in an Application.

An actual Site Plan of your property must be used, with the gazebo, cabana, trellises and other free standing structure drawn and described. See red portions of the sample Site Plan below.



DIM = Dimension/ Distance/ Measurement

#### Application Requirements:

- Completed Application Form.
  - Site Plan - Please use the Site Plan of your actual property provided by your builder as the basis for your Application.
- Please add to the Site Plan:**
- Drawing of proposed location of new structure in relationship with the existing home, fencing, decking and/or other existing elements.
  - Materials and color of new structure.
  - Setbacks and structure dimensions.
  - Photographs and manufacturer information if prefabricated.
  - Architectural drawings if not prefabricated.
  - Elevations and plans of proposed structure.

You may be required to provide additional information, including a manufacturer's data sheet to meet specific requirements of the Architectural Review Committee.

**We urge you to obtain all appropriate approvals prior to the start of construction.**

#### Construction Requirements:

- You must seek ARC approval for all add-on structures including, but not limited to, greenhouses, sunrooms, gazebos, cabanas, trellises and screened porches.
- Roofing shall match or complement that of the home.
- Maximum exterior height is 10'.
- All proposed structures shall be located in the rear yard and maintain all building setbacks.
- All exterior freestanding structures as well as trellises attached to the home shall maintain proper drainage on the site. The Homeowner is required to provide detailed runoff and drainage patterns created as a result of the new structure.
- If electrical service to a gazebo or cabana is desired, it must be supplied underground. No overhead electrical wires are permitted. Electrical service to exterior structure requires a permit from the local jurisdiction.
- Roofed structures and concrete pads must be included in the impervious surfaces calculations.

# ARCHITECTURAL GUIDELINES

## BUILDING ACCESSORIES GAZEBOS, CABANAS, TRELISES & OTHER FREE STANDING STRUCTURES

### CHAP 4 B

#### Examples

**Figure A**  
**Configurations RECOMMENDED**



**Figure B**  
**Configurations NOT ALLOWED**



Note: Temporary structures must be dismantled at the end of the summer.

- Freestanding gazebos, trellises, cabanas and other similar enclosures shall match the color of the residence or be constructed of natural wood.
- Size of structure shall be appropriate for the size of your lot.
- The structure details, materials, and colors shall harmonize with those of the home and other existing elements.
- The structure shall be integrated into its surroundings by using appropriate landscaping.
- Consideration shall be given to minimizing the views of gazebos, trellises and cabanas from decks, patios and windows of adjacent lots and streetscapes.

#### **Construction Recommendations:**

- Trellises may be either freestanding or attached to the exterior of the home. The size and design of the trellis should complement the scale of the home and its elements must correspond with the elevation of the home.
- Fabric ready-made gazebos, like the one shown on Figure B are encouraged for seasonal use only. They should be disassembled and stored during the fall and winter months.

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# ARCHITECTURAL GUIDELINES

## BUILDING ACCESSORIES HOT TUBS, POOLS, PONDS & WATER FEATURES

### CHAP 4 C

#### Application and Construction Requirements

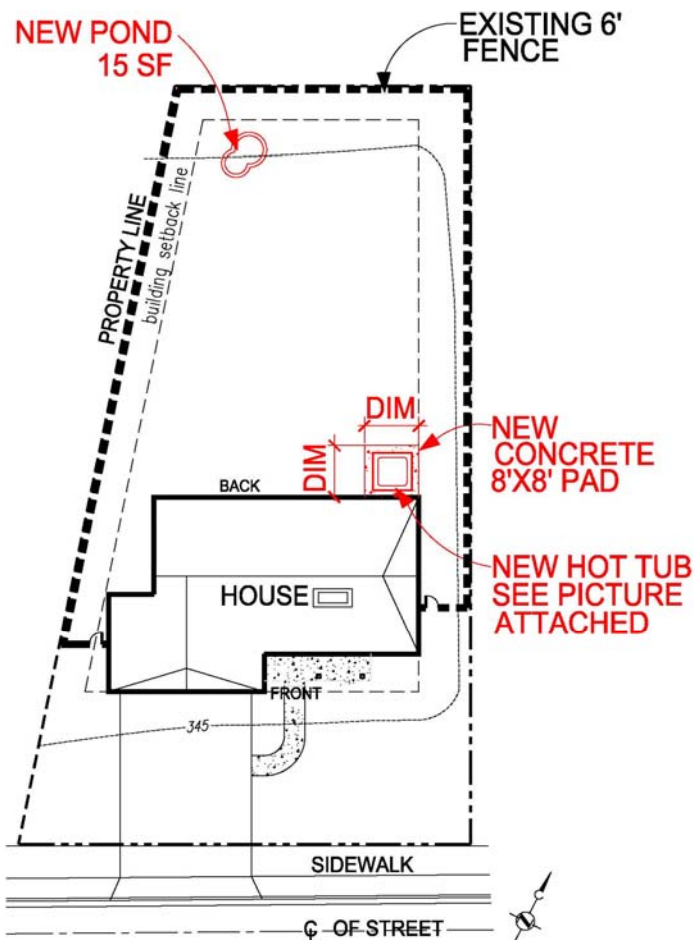
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#### Sample Site Plan

The sample Site Plan below shows information that needs to be provided in an Application.

An actual Site Plan of your property must be used, with the hot tub, pool, pond, and/or water feature drawn and described. See red portions of the sample Site Plan below.



DIM = Dimension/ Distance/ Measurement

#### Application Requirements:

- Completed Application Form.
- Site Plan - Please use the Site Plan of your actual property provided by your builder as the basis for your Application.

#### Please add to the Site Plan:

- Drawing of proposed location, size and shape of new pool, hot tub, pond, and/or water feature.
- Building setbacks.
- Existing fence.
- Drawing of proposed railing and/or screening calling out heights and material.
- Material, color and style of proposed pool, hot tub, pond, and/or water feature.
- Height and depth dimensions of hot tub, pool, and/or water feature.
- Photograph or detailed description of the hot tub, pool surround, and/or water feature.
- Impervious calculations for hot tubs, pool, pond and/or water feature.

You may be required to provide additional information, including a manufacturer's data sheet to meet specific requirements of the Architectural Review Committee.

*We urge you to obtain all appropriate approvals prior to the start of construction.*

#### Construction Requirements:

- Hot tubs, pools, ponds, and/or water features shall be placed at the rear of the home, but the Architectural Review Committee may consider alternate locations.
- Pool and mechanical equipment must comply with applicable codes regarding fencing.
- Mechanical equipment must be designed to minimize sound impact upon adjacent properties and conform to local jurisdictional regulations.
- Hot tubs must be installed in an already fenced backyard.
- Above grade pools are not allowed with an exception of children's wading pools. Children's pools must be located in the backyard and can be a maximum of 12' in diameter or length and must be put away after seasonal use.

# ARCHITECTURAL GUIDELINES

## BUILDING ACCESSORIES HOT TUBS, POOLS, PONDS & WATER FEATURES

### CHAP 4 C

#### Examples

**Figure A**  
**Configurations RECOMMENDED**



**Figure B**  
**Configurations NOT ALLOWED**



- Hot tubs shall have a natural wood surround corresponding with adjacent deck or surround that matches the color of the home or trim. See Figure A.
- Pools and hot tubs installed on concrete pads are impervious surfaces and must be included in the maximum allowed lot coverage.
- Hot tubs and pools must be constructed/installed according to specific local jurisdictional regulations.
- Pools and hot tubs shall be designed to minimize sight and sound impact upon adjoining properties.
- Hot tubs, pools, ponds, and water features shall be maintained in a clean, neat and orderly condition at all times.
- Pool heaters and pumps shall be screened from view and sound insulated.

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# ARCHITECTURAL GUIDELINES

## BUILDING ACCESSORIES PLAY SETS & GAME COURTS

### CHAP 4 D

#### Application and Construction Requirements

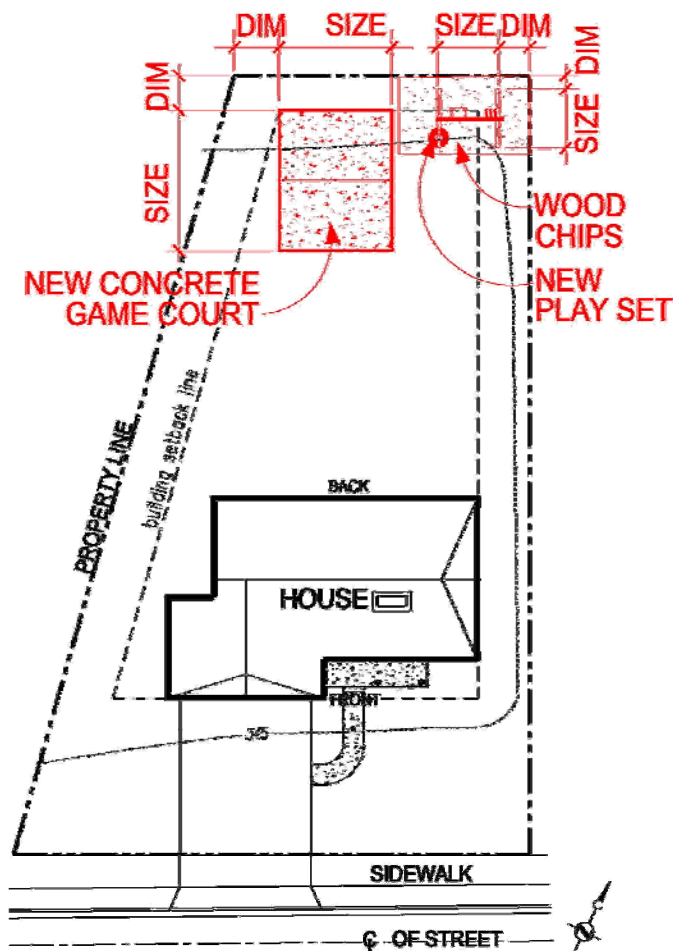
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Our goal is to describe the Application requirements as well as to explain construction requirements and recommendations in your Community.

#### Sample Site Plan

The sample Site Plan below shows information that needs to be provided in an Application.

An actual Site Plan of your property must be used, with the Play Set or Game Court drawn and described. See red portions of the sample Site Plan below.



DIM = Dimension/ Distance/ Measurement

#### Application Requirements:

- Completed Application Form.
- Site Plan - Please use the Site Plan of your actual property provided by your builder as the basis for your Application.

#### Please add to the Site Plan:

- Proposed location of new play set and/or game court.
- Setbacks and play set/game court dimensions.
- Dimensions from edges of play set to property lines.
- Width and depth dimensions.
- Material used for the surface under the play set or game court.
- Photograph or drawings of the actual play set or game court proposed.

You may be required to provide additional information, including a manufacturer's data sheet to meet specific requirements of the Architectural Review Committee.

We urge you to obtain all appropriate approvals prior to the start of construction.

#### Construction Requirements:

- Natural or stained wood play sets are allowed. Composite wood may be allowed subject to ARC approval. See Figure A.
- Maximum height is 12'6" to the highest point of the play structure. Overall dimensions cannot exceed 1200 square feet.
- Commercial size play sets are not allowed. See Figure B.
- Permanent basketball backboards are not allowed. Portable basketball backboards are permitted in the front and backyard and cannot be placed in the street or sidewalk.
- Portable basketball backboards must be stored out of sight when not in use.
- Only one play set and/or sport court is allowed per lot.
- The surface of the sport court or play set shall not divert water from your lot onto adjacent properties.
- Sport courts shall not violate any building setbacks, impervious surface rules or other requirements of the local jurisdiction.

# ARCHITECTURAL GUIDELINES

## BUILDING ACCESSORIES PLAY SETS & GAME COURTS

### CHAP 4 D

#### Examples

**Figure A**  
**Configurations RECOMMENDED**



**Figure B**  
**Configurations NOT ALLOWED**



- Drainage: If changes in grade are anticipated, they must be indicated on the application. Generally, approval will be denied if adjoining properties are affected by changes in drainage. Site inspections may be required.
- Wood frame swing sets and play sets shall be commercially manufactured unless detailed plans for homemade swing sets or play sets are reviewed and approved by the ARC. The Committee's review of such items focuses on mainly aesthetic considerations and shall not be understood, characterized or treated as certification of any type as to the safety of such items.
- Play areas, play sets, game courts, and portable basketball backboards shall be maintained in a clean, neat and orderly condition at all times.
- Play sets and sport courts shall be placed in the rear yard with regard to privacy of neighboring homes.
- Safety surface surrounding a play set shall consist of natural material, i.e. wood chips, pea gravel, or sand. Recycled rubber or similar synthetic materials are not allowed. Impervious surfaces of any kind are not allowed.
- Consideration shall be given to minimize the view of the play set and game court from decks, patios and primary windows of neighboring homes.
- Size of play sets and game courts shall correspond with the scale and size of the lot. Large game courts that take up most of your backyard are not allowed.

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# ARCHITECTURAL GUIDELINES

## BUILDING ACCESSORIES SATELLITE DISHES & FLAG POLES

### CHAP 4 E

#### Application and Construction Requirements

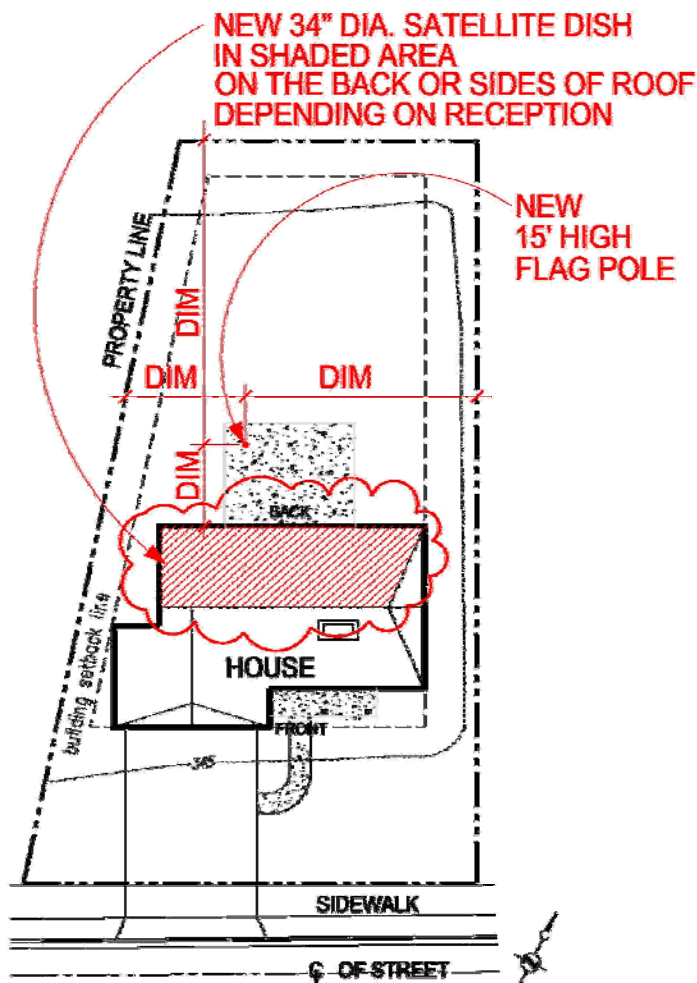
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Our goal is to describe the Application requirements as well as to explain construction requirements and recommendations in your Community.

#### Sample Site Plan

The sample Site Plan below shows information that needs to be provided in an Application.

An actual Site Plan of your property must be used, with the Satellite Dish or Flag Pole drawn and described. See red portions of the sample Site Plan below.



#### Application Requirements:

- Completed Application Form
- Site Plan - Please use the Site Plan of your actual property provided by your builder as the basis for your Application.

#### Please add to the Site Plan:

- Drawing of proposed location, size and shape of satellite dish or flag pole.
- Dimension from flag pole to property lines.
- Picture or detailed description of flag pole.

You may be required to provide additional information, including manufacturer's data sheet to meet specific requirements of the Architectural Review Committee.

*We urge you to obtain all appropriate approvals prior to the start of construction.*

#### Construction Requirements:

- The Federal Communications Commission adopted the Over-the-air Reception Devices Rule concerning all restrictions on viewers' ability to receive video programming signals from direct broadcast satellites, broadband radio service providers and TV broadcast stations.
- This rule (47 C.F.R. Section 1.4000 ) prohibits installations that impair other dishes or professional/government reception.
- The following types of antennas are permitted:
  - A "dish" antenna that is one meter (39.37 ") or less in diameter and is designed to receive direct broadcast satellite service, including direct-to-home satellite service, or to receive or transmit fixed wireless signals via satellite.
  - An antenna that is one meter (39.37 ") or less in diameter or diagonal measurement and is designed to receive video programming services via broadband radio service ( wireless cable ) or to receive or transmit fixed wireless signals other than via satellite.
  - An antenna that is designed to receive local television broadcast signals.
- Antennas covered by the rule may be mounted on "masts" to reach the height needed to receive or transmit an acceptable quality signal.
- Antennae is to be painted to blend with the background against which it is mounted.
- Satellite dishes may not be visible from the front of the home.

# ARCHITECTURAL GUIDELINES

## BUILDING ACCESSORIES SATELLITE DISHES & FLAG POLES

### CHAP 4 E

#### Examples

**Figure A  
RECOMMENDED**



Antenna not seen, hidden behind roof

**Figure B  
Configurations NOT ALLOWED**



Antennae visible from public spaces

- Placement of a dish and/or antenna on the porch or in the front of the home must be required for adequate signal reception **and** must obtain prior ARC approval
- There may be no more than two ( 2 ) satellite dishes per lot or living unit.
- Satellite dishes shall not be placed on the ridge of the roof, shall not be installed on fences, tri-pods or on in ground mountings.
- All Loose wires and cables shall be secured and concealed.
- Permanent freestanding flagpoles shall not be allowed.
- Flag pole must be in proportion to your home and property however in shall be no longer than 6 ' in length.
- The color of the pole shall be neutral or white in color.
- Flags shall not obstruct your neighbor ' s views.
- Flags shall be no larger than 3 ' x 5' but must be proportionate to the length of the pole.
- The United States Flag shall be displayed and maintained according to 4 U.S.C. Sec. 1 et seq.
- Lighting is required if Flag is flown 24/7
- Each lot or living unit shall have no more than one flag.

#### **Construction Recommendations:**

- The Architectural Review Committee recognizes the need to locate satellite dishes in a place that will allow the best reception possible; however, residents are encouraged to consider aesthetics as well. When possible, the dish should be visually shielded from view from the street and sidewalks.
- It is recommended that satellite dishes are attached to your home under the roof line in back or on the side toward the rear of the house.

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# ARCHITECTURAL GUIDELINES

## BUILDING ACCESSORIES SHEDS & STORAGE UNITS

### CHAP 4 F

#### Application and Construction Requirements

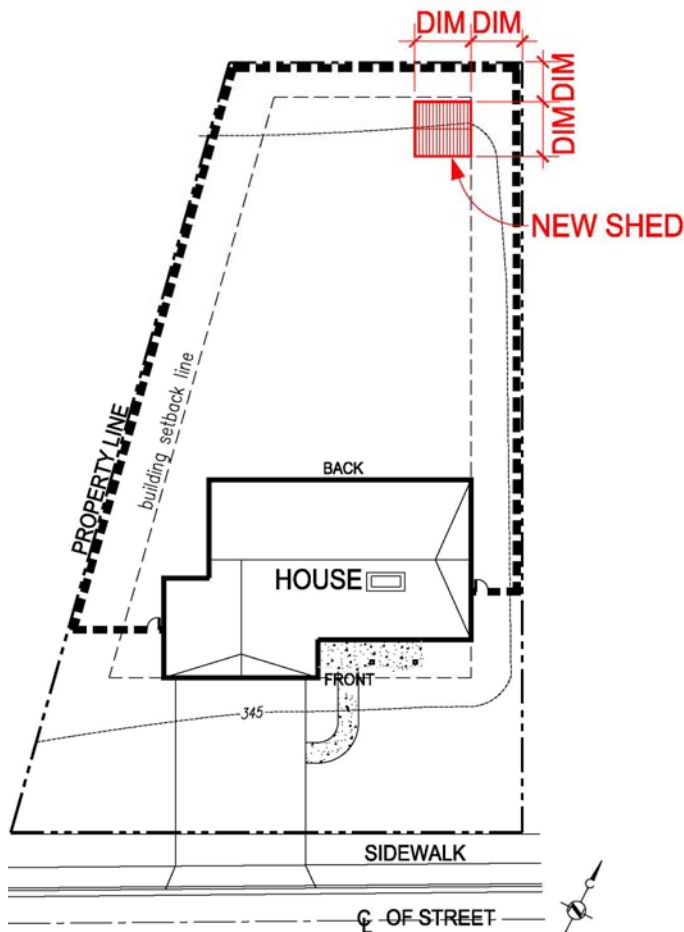
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#### Sample Site Plan

The sample Site Plan below shows information that needs to be provided in an Application.

An actual Site Plan of your property must be used, with the Sheds and Storage units drawn and described. See red portions of the sample Site Plan below.



**DIM** = Dimension/ Distance/ Measurement

#### Application Requirements:

- Completed Application Form.
- Site Plan - Please use the Site Plan of your actual property provided by your builder as the basis for your Application.

#### Please add to the Site Plan:

- Drawing of proposed location of new shed or storage unit.
- Setbacks and shed/storage unit dimensions indicated.
- Dimensions from edges of shed or storage unit to property line.
- Photograph or drawing of the type of proposed shed or storage unit to be built.

You may be required to provide additional information, including a professional survey, to meet specific requirements of the Architectural Review Committee.

*We urge you to obtain all appropriate approvals prior to the start of construction.*

#### Construction Requirements:

- Sheds and storage units must be constructed of wood. See Figure A.
- The dimensions of the shed or storage unit must not exceed **120 square feet**.
- Sheds or storage units visible from the street must be shielded by a fence.
- Sheds or storage shall be maintained in a clean, neat and orderly condition at all times.
- Sheds or storage units must not violate any building setbacks, impervious surface restrictions or other requirements of the local jurisdiction.
- Sheds or storage units cannot be placed over infiltration trenches, bio-swales, storm drains or easements.
- The area of the shed or storage unit needs to be included in the impervious surface calculations.
- Sheds or storage units shall have siding that matches the color of your home and shall not detract from the uniform quality and appearance of your neighborhood. See Figures A & B.
- Roofing materials and/or color shall match your home and must not detract from the uniform quality and appearance of your neighborhood.

# ARCHITECTURAL GUIDELINES

## BUILDING ACCESSORIES SHEDS & STORAGE UNITS

### CHAP 4 F

#### Examples

**Figure A**  
**Configuration RECOMMENDED**



**Figure B**  
**Configuration NOT ALLOWED**



- Sheds or storage units should not exceed 9' in height.
- Sheds or storage units shall be located on the interior side yard or rear yard of property.
- Your back yard should be fully fenced before a shed or storage unit is built.

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# ARCHITECTURAL GUIDELINES

## BUILDING DESIGN ADDITIONS & REMODELS

## CHAP 5 A

### *Application and Construction Requirements*

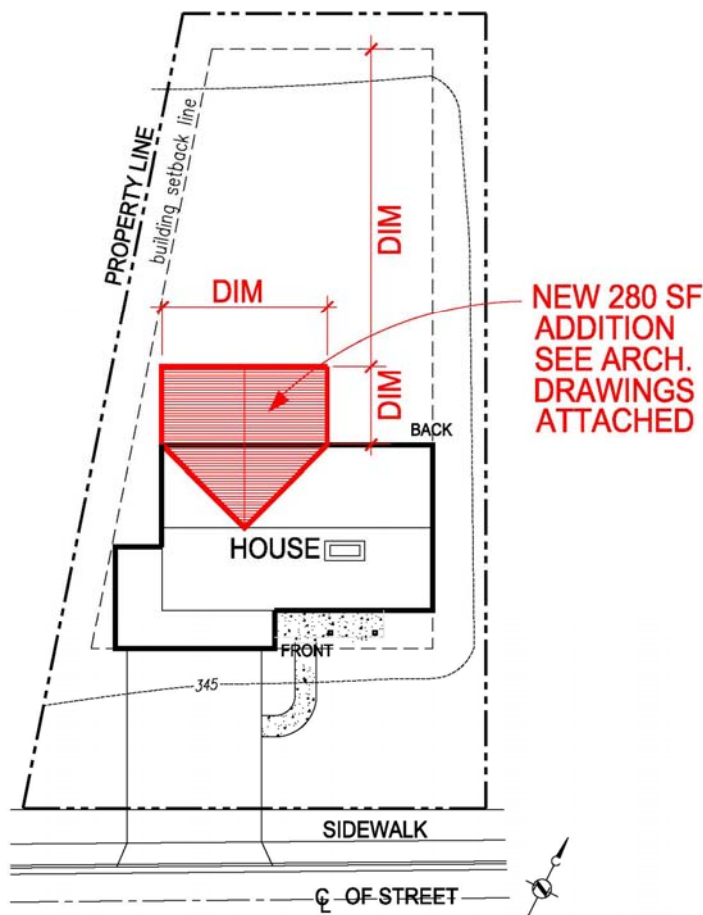
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#### **Sample Site Plan**

The sample Site Plan below shows information that needs to be provided in an Application.

An actual Site Plan of your property must be used, with the addition or remodel drawn and described. See red portions of the sample Site Plan below.



**DIM** = Dimension/ Distance/ Measurement

#### **Application Requirements:**

- Completed Application Form.
- Site Plan - Please use the Site Plan of your actual property provided by your builder as the basis for your Application.

#### **Please add to the Site Plan:**

- Drawing of proposed location of new addition in relationship to the existing home, fencing, decking and/or other existing elements.
- Materials and color of new structure.
- Existing landscaping, fencing and any other site elements.
- Setbacks and structure dimensions.
- Photographs of existing home and area of proposed addition/alteration.
- Detailed construction drawings.
- Complete elevations and plans of proposed and existing structures. Drawings shall be at a scale of 1/4" = 1'0". The elevations must show all exterior details including window and door placement, trim size and style, eaves, corner boards, roof style and pitch as well as exterior materials.

You may be required to provide additional information, including a manufacturer's data sheet to meet specific requirements of the Architectural Review Committee.

*We urge you to obtain all appropriate approvals prior to the start of construction.*

#### **Construction Requirements:**

- Materials shall match those of the existing structure.
- The addition shall match the character of the existing structure.
- Window types, trim, and other architectural features shall be consistent with existing architectural features.
- The new roofing on the addition must be the same color and type as the existing shingles.
- The size of the proposed addition shall relate well to adjacent structures and to the surroundings. For example, a large addition to a small house may not be appropriate.

# ARCHITECTURAL GUIDELINES

## BUILDING DESIGN ADDITIONS & REMODELS

### CHAP 5 A

#### Examples

**Figure A**  
**Configurations RECOMMENDED**



**Figure B**  
**Configurations NOT ALLOWED**



- Additions and remodels shall appear to be an integral part of the structure and not look “tacked on.”
- A building permit must be obtained for any additions or remodels.
- Upon completion of the project, all disturbed areas must be restored through grading, seeding and landscaping.
- Changes in grade or drainage pattern must not adversely affect neighboring properties.
- An addition to existing home may not negatively affect the access to light and ventilation of adjacent properties.
- Appropriate lot coverage calculations are required.
- Size of structure shall be appropriate for the size of your lot and continue the same siding materials and color.
- The new roof on the addition shall match the pitch of the existing roof and blend seamlessly.

#### **Construction Recommendations:**

- The structure details, materials, and colors shall harmonize with those of the house and other existing elements.
- The structure shall be integrated into its surroundings by using appropriate landscaping.

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# ARCHITECTURAL GUIDELINES

## BUILDING DESIGN AWNINGS & PATIO COVERS

### CHAP 5 B

### Application and Construction Requirements

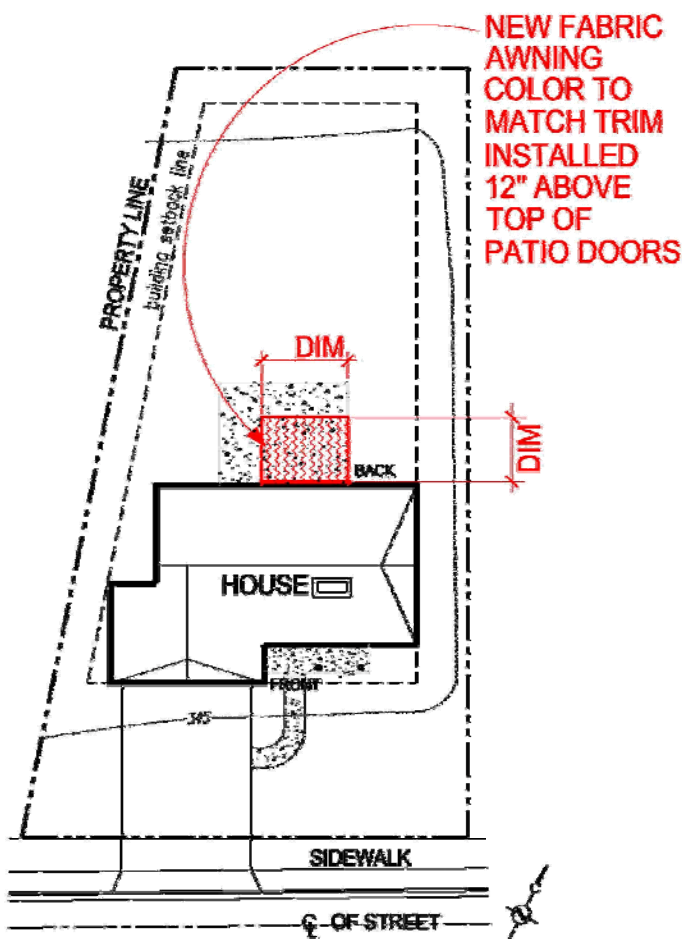
The following Architectural Guideline chapter has been provided to assist you, the Homeowner, in preparing an ARC Application to the Association.

Our goal is to describe the Application requirements as well as to explain construction requirements and recommendations in your Community.

#### Sample Site Plan

The sample Site Plan below shows information that needs to be provided in an Application.

An actual Site Plan of your property must be used, with the awning or patio cover drawn and described. See red portions of the sample Site Plan below.



**DIM** = Dimension/ Distance/ Measurement

#### Application Requirements:

- Completed Application Form.
- Site Plan - Please use the Site Plan of your actual property provided by your builder as the basis for your Application.

#### Please add to the Site Plan:

- Drawing of proposed location, size and shape of new awning or patio cover.
- Height and material of awning and/or patio cover and its supports.
- Plan view and elevation drawings of awning and/or patio cover showing supports and how it will be attached to the home.
- Photographs of where the awning and/or patio cover will be attached.

You may be required to provide additional information, including a manufacturer's data sheet to meet specific requirements of the Architectural Review Committee.

*We urge you to obtain all appropriate approvals prior to the start of construction.*

#### Construction Requirements:

- All window and patio awnings require ARC application and approval.
- Corrugated metal, plastic, fiberglass or vinyl awnings are not allowed. See Figure B.
- Patio covers and awnings must be professionally attached to the house and designed to withstand wind and other natural conditions.
- Permanent patio roofs shall complement the scale of the home and not violate any setbacks or impervious surface rules.
- All permanent patio roofs shall collect water into gutters and downspouts connected to the property's storm drainage system.
- Permanent patio covers may be considered an impervious surface if they cover a permeable surface. Impervious rules prevail in the review process and may not be violated.
- Columns and supports for permanent patio covers shall be large enough to provide adequate support but shall also be in proportion to the overall massing of the home.

# ARCHITECTURAL GUIDELINES

## BUILDING DESIGN AWNINGS & PATIO COVERS

### CHAP 5 B

#### Examples

**Figure A**  
**Configurations RECOMMENDED**



**Figure B**  
**Configurations NOT ALLOWED**



- Awnings on the front or sides of the home are not allowed.
- Retractable fabric awnings shall be of neutral colors corresponding with the color of siding or trim and appropriately sized for the window or door. See Fig A.
- Awnings shall be maintained to avoid worn, torn or faded appearance.
- Roofs over patios shall match the slope and material of your existing roof. See Figure A.

#### **Construction Recommendations:**

- Please use reputable manufacturers and installers of retractable fabric awnings. Minimum of 3 year warranty is recommended.
- Awnings over individual windows are not allowed. Use alternate sun control methods such as shades or landscaping.
- Permanent patio cover framing and supports shall match the materials and colors of your home.
- Patio table umbrellas and portable picnic area covers sold at home and garden stores can be used in the back yard only as long as they are aesthetically pleasing. They must be removed or disassembled at the end of the summer season. They are not acceptable as permanent patio or deck coverings, See Figure B.

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# ARCHITECTURAL GUIDELINES

## BUILDING DESIGN EXTERIOR LIGHTING

### CHAP 5 C

#### Application and Construction Requirements

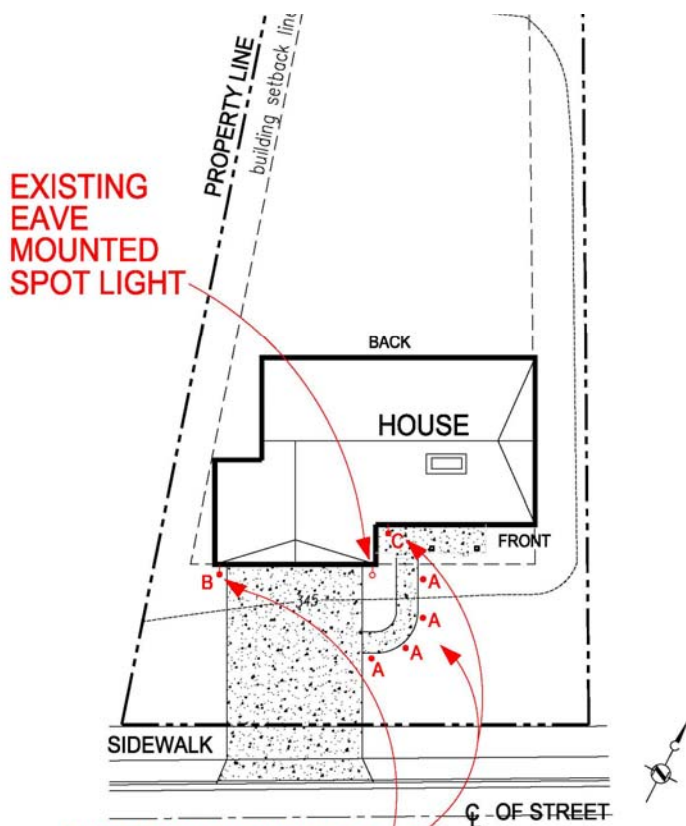
The following Architectural Guideline chapter has been provided to assist you, the Homeowner, in preparing an ARC Application to the Association.

Our goal is to describe the Application requirements as well as to explain construction requirements and recommendations in your Community.

#### Sample Site Plan

The sample Site Plan below shows information that needs to be provided in an Application.

An actual Site Plan of your property must be used, with the exterior lighting drawn and described. See red portions of the sample Site Plan below.



#### NEW LIGHT FIXTURES

SEE ATTACHED CATALOG FOR SPECIFICATIONS

- A 12" HIGH SOLAR-POWERED LANDSCAPE PATH LIGHTS
- B 5' HIGH LOW VOLTAGE DECORATIVE LIGHT WITH NON-GLARE LENS
- C EAVE MOUNTED HALOGEN SPOT (POINTED DOWNWARD) WITH MOTION SENSOR

#### Application Requirements:

- Completed Application Form.
- Site Plan - Please use the Site Plan of your actual property provided by your builder as the basis for your Application.

#### Please add to the Site Plan:

- Drawing of proposed location, type of lighting.
- Indicate height of lighting.
- A website, photograph or catalogue of the fixture showing dimensions, wattage, and type of lamp.

You may be required to provide additional information, including a manufacturer's data to meet specific requirements of the Architectural Review Committee.

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#### Construction Requirements:

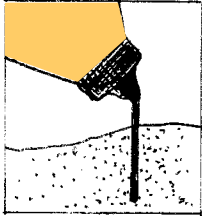
- No light shall spill over or be directed onto adjacent lots, common areas and public streets.
- No exposed bulbs are allowed.
- Lighting shall be shielded to prevent glare.
- Sport court lighting is not allowed.
- Exterior front entry lighting shall be indirect or use a non-glare lens.
- No wiring or conduit shall be visible.
- Decorative lighting shall be consistent with the architectural character, color and scale of the house.
- All garden and walkway lights shall direct the light downward with a concealed light source.
- Avoid lighting that shines into adjacent neighbor's windows.
- Avoid unbalanced lighting that divides rather than unifies landscape features.
- Avoid pathway lighting which is spaced too closely.
- All holiday lighting and decorations shall be put up no sooner than thirty (30) calendar days prior to the pertinent holiday and shall be taken down and removed from view within thirty (30) calendar days after the pertinent holiday.
- Holiday lighting is not intended to be up year round.

# ARCHITECTURAL GUIDELINES

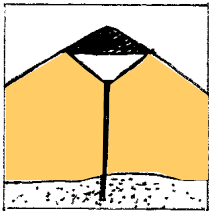
## BUILDING DESIGN EXTERIOR LIGHTING

### CHAP 5 C

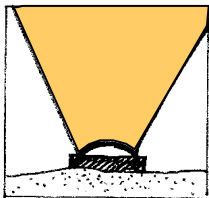
#### Examples



Low voltage type fixture that can be used to illuminate landscaping



Pathway light that could be low-voltage or solar powered



Concealed fixture for highlighting architectural features

- Any seasonal or year round exterior decorations, displays or adornments that appear out of character with the general aesthetics and quality of the community are not allowed.

#### Construction Recommendations:

- Lighting controlled by a timer, motion detector or a photo-electric system is recommended.
- Be sensitive to your neighbor's views and privacy in placement and type, and appearance of lighting fixtures.
- Low voltage is recommended for pathways, shrubbery, trees and decks.

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# ARCHITECTURAL GUIDELINES

## BUILDING ACCESSORIES HOME MAINTENANCE & APPEARANCE

### CHAP 5 D

#### *Application and Construction Requirements*

This chapter has been provided to assist you in maintaining your property. Maintenance and the appearance of your property is important for your home's integrity and overall appearance as well as the continuity of your neighborhood. Routine maintenance typically includes general upkeep, repair of deteriorated materials and the replacement of missing or broken elements. Measures to restore the structure to its original condition using identical materials and methods of construction is also important. Any questions about routine maintenance and methods should be directed to the Sunrise Master Association but does not require review from the Association.



#### **1. Home Maintenance**

##### **Air Conditioners**

- Outdoor air conditioning units shall be placed to minimize noise to adjacent homes and shall be screened from view.
- Window mounted air conditioning units are not approved for use.

##### **Paints & Stains**

Exterior paint colors are important to the look of our community.

- **All** exterior painting and or repainting for houses, fences, decks, roofs and trim must be approved by the ARC.
- Colors of paints or stains must be compatible with colors of other houses in the immediate neighborhood. Color chips ( samples ) must be submitted with the Application along with a detailed description of where the colors are to be applied ( trim, body, doors, etc. ).
- Approval and acceptance of paint and stain is at the sole discretion of the ARC. Decisions will be based on maintaining the continuity and harmony and which are complimentary within Sunrise.

##### **Roofs**

- Roofs shall be cleaned regularly to remove moss, and accumulation of dust and debris.
- Any damage to roofs shall be repaired immediately to prevent water damage.
- Replacing existing roofing with a roofing that is the exact or comparable in color, manufacturer and type is considered routine maintenance. All flashings and venting components shall be replaced as needed. Any change in roofing material or color requires the ARC's review and approval.
- Leaves and debris shall be cleaned out of gutters on a regular basis.

##### **Siding**

- Siding shall be pressure washed to remove mildew and stains.
- Faded exterior siding shall be repainted or replaced. Any change in color or type of paint will require review from the ARC.
- Damaged materials or structures shall be repaired immediately.

##### **Windows**

- Cracked or broken door or window glass shall be replaced within 30 days.

#### *Application and Construction Requirements*

#### **2. Landscaping Maintenance**

- Shrubs and trees shall be trimmed on a regular basis.
- Dead plant material shall be removed within 30 days.
- Stumps shall be removed within 30 days.
- All lawns visible from the street shall be trimmed, edged and maintained.
- Control the growth of weeds to prevent excessive growth.
- Sprinklers shall not spray on common areas or adjacent lots.
- Damaged fences shall be repaired within 30 days.

#### **3. General Appearance**

- No lawn furniture, bicycles, or debris shall be left out in the front or side yards of any lot.
- Bed sheets, plastic sheets, newspapers, foil cardboard, or any other similar window treatment shall not be hung or placed in or on any window.
- Basketball nets/hoops/poles shall be maintained to prevent worn, broken nets and rust.
- Garbage cans shall be removed from the street within 24 hours after pickup of trash.
- Pets shall be leashed in common areas of the neighborhood per county ordinance.
- Pet waste shall be removed immediately from common areas and yards.

# ARCHITECTURAL GUIDELINES

## BUILDING DESIGN SCREEN DOORS

## CHAP 5 E

### Application and Construction Requirements

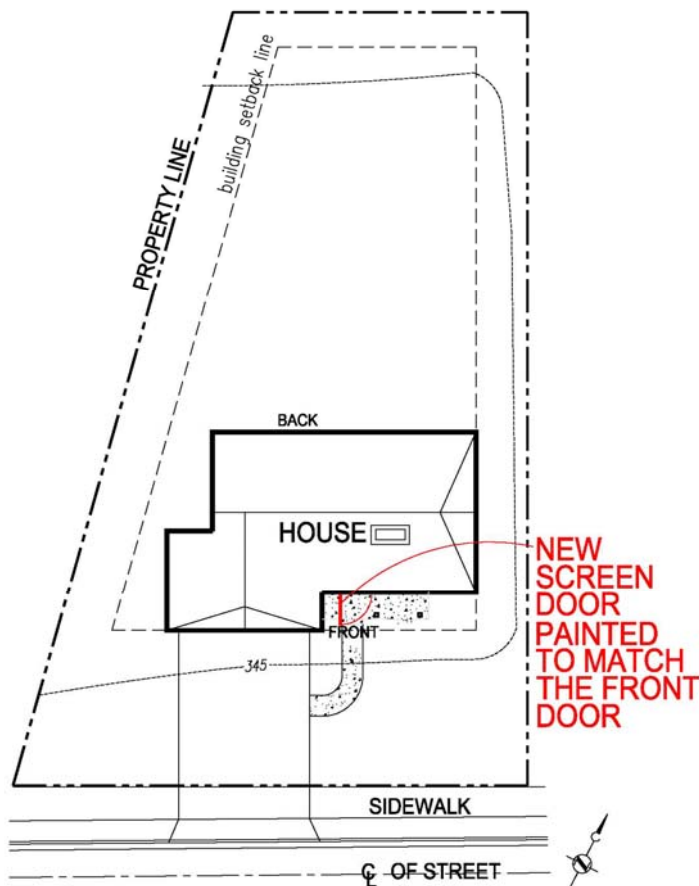
The following Architectural Guideline chapter has been provided to assist you, the Homeowner, in preparing an ARC Application to the Association.

Our goal is to describe the Application requirements as well as to explain construction requirements and recommendations in your Community.

#### Sample Site Plan

The sample Site Plan below shows information that needs to be provided in an Application.

An actual Site Plan of your property must be used, with the screen door and described. See red portions of the sample Site Plan below.



#### Application Requirements:

- Completed Application Form.
- Site Plan - Please use the Site Plan of your actual property provided by your builder as the basis for your Application.

#### Please add to the Site Plan:

- Drawing of proposed location of new screen door.
- Material, color and style of proposed screen door.
- Picture of the screen door if available or a website address of the company and model number.

You may be required to provide additional information, including a manufacturer's data sheet to meet specific requirements of the Architectural Review Committee.

*We urge you to obtain all appropriate approvals prior to the start of construction.*

#### Construction Requirements:

- Screen or storm doors are permitted if they are in keeping with the home's architectural character. Screen doors shall not be:
  - Unpainted aluminum
  - Unpainted or unstained woods
  - Temporary in appearance.
- Screen doors on the front of the home shall be white or match the existing door color or trim color.
- Screen doors shall be at least 1 1/2" thick, made of vinyl clad aluminum or polypropylene frame with closer.
- Screen doors and windows shall not have multiple bars, cross-hatching or filigree. See Figure B.
- Screen doors shall be maintained in a clean, neat and orderly condition at all times.
- Screen doors shall not contain a kick plate of more than 6" in height or any ornamental decorations. See Figure B.
- Replacement windows and screen doors shall be white or match the home color, trim color, style and window configuration.

#### Construction Recommendations:

- Screen doors with full-view glass (interchangeable screen is optional) or single horizontal bar are recommended. See Figure A.
- Screen doors should have a minimum 15 year warranty to ensure quality and appearance.

# ARCHITECTURAL GUIDELINES

## BUILDING DESIGN SCREEN DOORS

## CHAP 5 E

### Examples

#### Figure A Configurations RECOMMENDED



Note: Screen door matches trim color.



Note: Screen door matches door color.

#### Figure B Configurations NOT ALLOWED



- Retractable or “invisible” coiling screen doors may be installed without ARC review.
- Wood and custom screen doors may be allowed subject to ARC review.

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# ARCHITECTURAL GUIDELINES

## BUILDING DESIGN SHUTTERS

## CHAP 5 F

### Application and Construction Requirements

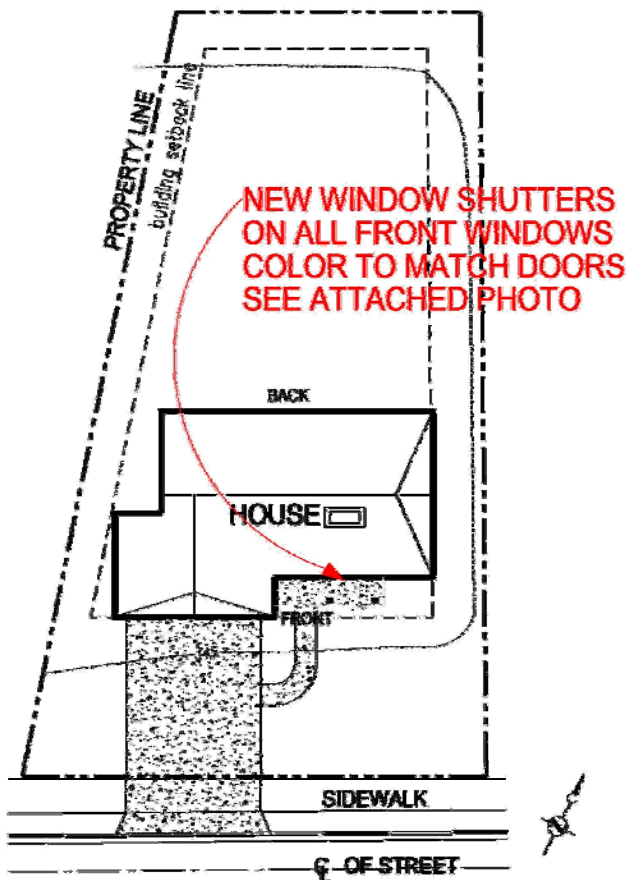
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Our goal is to describe the Application requirements as well as to explain construction requirements and recommendations in your Community.

#### Sample Site Plan

The sample Site Plan below shows information that needs to be provided in an Application.

An actual Site Plan of your property must be used, with the shutters drawn and described. See red portions of the sample Site Plan below.



**DIM** = Dimension/ Distance/ Measurement

#### Application Requirements:

- Completed Application Form.
- Site Plan - Please use the Site Plan of your actual property provided by your builder as the basis for your Application.

#### Please add to the Site Plan:

- Drawing of proposed location of window shutters.
- Style, material and color of new shutters.
- Photographs and manufacturer data on shutters.

You may be required to provide additional information, including a manufacturer's data sheet to meet specific requirements of the Architectural Review Committee.

*We urge you to obtain all appropriate approvals prior to the start of construction.*

#### Construction Requirements:

- Shutters shall be the same type and style all around the home.
- Shutters shall be in proportion to the size and shape of windows and doors. See Figure A.
- Color of shutters shall compliment the exterior colors of the home.
- Shutters shall be well maintained and kept in good repair at all times.
- Shutters shall be the same height as the window that they will complement. See Figure B.
- Shutters shall be made of vinyl or wood.
- Screw or bolt attachment of the shutters shall be hidden or have caps. See illustration below.
- Installation and or removal of shutters requires prior ARC approval.



*If your proposed improvement complies with described above Requirements and Recommendations, you are still obligated to submit an application for review.*

# ARCHITECTURAL GUIDELINES

## BUILDING DESIGN SHUTTERS

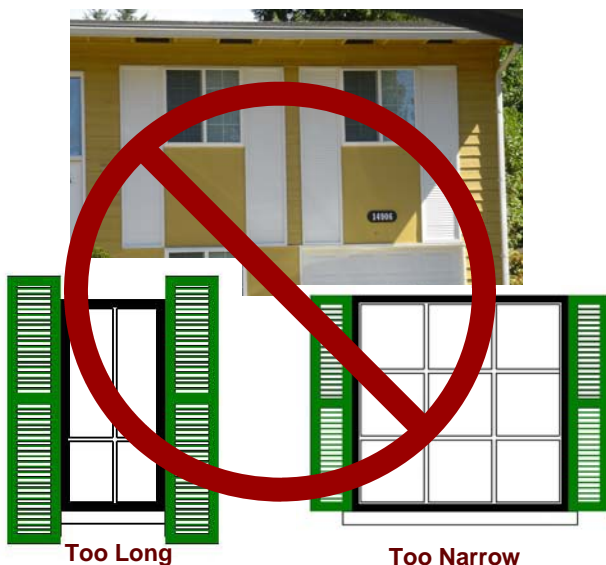
## CHAP 5 F

### Examples

**Figure A**  
**Configurations RECOMMENDED**



**Figure B**  
**Configurations NOT ALLOWED**



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